

NOTICE OF INTENT

ASSISTED LIVING RESIDENCE

**361 and 363A Main Street
Medfield, Massachusetts**



Prepared for:

**LCB Senior Living
3 Edgewater Drive, Suite 101
Norwood, MA 02062**

Prepared by:



BEALS + THOMAS

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, MA 01772-2104

*Submitted in Compliance with the Massachusetts
Wetlands Protection Act and the Town of Medfield
Wetlands Bylaw and Rules and Regulations*

August 19, 2015



T 508.366.0560
F 508.366.4391
www.bealsandthomas.com
Regional Office: Plymouth, MA

August 19, 2015

Ralph Parmigiane, Chair
c/o Leslee Willitts, Conservation Agent
Medfield Conservation Commission
459 Main Street
Medfield, MA 02052

Via: Hand Delivery

Reference: Notice of Intent
Assisted Living Residence
363A Main Street
Medfield, Massachusetts
B+T Project No. 2177.04

Dear Chairman Parmigiane and Members of the Commission:

On behalf of the Applicant, LCB Senior Living, Beals and Thomas, Inc. respectfully submits this Notice of Intent (NOI) for work within wetland resource area buffer zones. The proposed development includes construction of an assisted living residence and associated appurtenances on Main Street in Medfield, Massachusetts. This filing is submitted in accordance with the Massachusetts Wetlands Protection Act, MGL, Chapter 131, Section 40 and associated Regulations at 310 CMR 10.00 (collectively referred to as the Act) and the Town of Medfield Wetlands Bylaw (the Bylaw) and Rules and Regulations (the Regulations).

As required, enclosed are eight copies plus the original of the NOI submission package, including one full-size plan set and eight reduced size 11x17" plan sets, as well as two copies of the Stormwater Management Report. A copy of this filing has also been provided to the Town of Medfield Board of Health, Planning Board and Board of Selectmen via certified mail. The following information is included for your review:

- Section 1: Notice of Intent Forms
- Section 2: Project Narrative
- Section 3: Abutter Information
- Section 4: Stormwater Management Information (Under Separate Cover)
- Section 5: Wetland Boundary Documentation
- Section 6: Plans

Ralph Parmigiane, Chair
c/o Leslee Willitts, Conservation Agent
Medfield Conservation Commission
August 19, 2015
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As required, a copy of this filing has been provided to the Central Regional Office of the Department of Environmental Protection (DEP). Pursuant to requirements of the Act, abutters within 100 feet of the subject property have been notified via certified mail concurrent with the date that this NOI has been filed with the Medfield Conservation Commission. Enclosed is a check payable to the Town of Medfield in the amount of \$2,362.50 for the appropriate filing fee as required by the Act (\$537.50), commercial development under the Bylaw and Regulations (\$1,800.00) and preparation of the legal notice (\$25.00). A separate check in the amount of \$512.50 has been forwarded to the DEP Lock Box to cover the state portion of the filing fee. We understand that the Commission is responsible for placing a legal notice in the Medfield Press.

Should you have any questions regarding this matter or require additional information, please contact us at (508) 366-0560. We would like to request a spot on the agenda for the September 17, 2015 public hearing. We thank you for your consideration of this Notice of Intent and look forward to meeting with the Commission.

Very truly yours,

BEALS AND THOMAS, INC.



Daniel M. Feeney, PE, LEED AP
Principal

Enclosures

cc: DEP Central Regional Office (1 copy with Stormwater Management Report via Certified Mail)
Medfield Board of Selectmen (1 copy via Certified Mail)
Medfield Planning Board (1 copy via Certified Mail)
Medfield Board of Health (1 copy via Certified Mail)
LCB Senior Living (1 copy via U.S. Mail and email to lbloom@lcbseiorliving.com)

LCB Berkshire Senior Living Holdings LLC

LCB Berkshire Senior Living Holdings LLC
3 Edgewater Drive
Norwood, MA
781-619-9320

Bank of America
PO Box 15284
Wilmington, DE

238

5-13/110

**** TWO THOUSAND THREE HUNDRED SIXTY TWO AND 50/100 DOLLARS

TO THE
ORDER OF

08/12/2015

\$2,362.50***

Town of Medfield
Collector's Office
459 Main Street
Medfield, MA 02052



MEMO: GIVE CK TO LEE BLOOM

THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE. RED IMAGE DISAPPEARS WITH HEAT.

⑈000238⑈ ⑆011000138⑆ 004640439448⑈

DATE:08/12/2015 CK#:238 TOTAL:\$2,362.50*** BANK:LCB Berkshire Senior Living Ho(lcbberk)
PAYEE:Town of Medfield(v0001124) MEMO: GIVE CK TO LEE BLOOM

Property Address - Code	Invoice - Date	Description	Amount
LCB Berkshire Senior Living Holdi	2362.507302015 - 07/30/15	GIVE CK TO LEE BLOOM	2,362.50
			<u>2,362.50</u>

Details on back



Security Features Included



LCB Berkshire Senior Living Holdings LLC

LCB Berkshire Senior Living Holdings LLC
3 Edgewater Drive
Norwood, MA
781-619-9320

Bank of America
PO Box 15284
Wilmington, DE

5-13/110

234

**** FIVE HUNDRED TWELVE AND 50/100 DOLLARS

TO THE
ORDER OF

08/07/2015

\$512.50*****

Commonwealth of Massachusetts
One Ashburton Place
Boston, MA 02108



THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED IMAGE DISAPPEARS WITH HEAT.

⑈000234⑈ ⑆011000138⑆ 004640439448⑈

DATE:08/07/2015 CK#:234 TOTAL:\$512.50***** BANK:LCB Berkshire Senior Living Ho(lcbberk)
PAYEE:Commonwealth of Massachusetts(v0000166)

Property Address - Code	Invoice - Date	Description	Amount
LCB Berkshire Senior Living Holdi	512.507302015 - 07/30/2015		512.50
			<hr/>
			512.50

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Section 1.0
Notice of Intent Forms

Notice of Intent (WPA Form 3)

Wetland Fee Transmittal Form

List of Property Owners

Fees Worksheet



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Medfield
City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>361 and 363A Main Street</u>	<u>Medfield</u>	<u>02052</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42°11'27.53"</u>	<u>71°17'49.94"</u>	
d. Latitude	e. Longitude	
<u>43; 51</u>	<u>066, 183, 184; 071</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Lee</u>	<u>Bloom</u>	
a. First Name	b. Last Name	
<u>LCB Senior Living</u>		
c. Organization		
<u>3 Edgewater Drive, Suite 101</u>		
d. Street Address		
<u>Norwood</u>	<u>MA</u>	<u>02062</u>
e. City/Town	f. State	g. Zip Code
<u>(781) 619-9195</u>	<u>(781) 619-9321</u>	<u>lbloom@lcbseiorliving.com</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u>LCB Medfield, LLC</u>	<u>LCB Medfield, LLC</u>	
a. First Name	b. Last Name	
c. Organization		
<u>3 Edgewater Drive, Suite 101</u>		
d. Street Address		
<u>Norwood</u>	<u>MA</u>	<u>02062</u>
e. City/Town	f. State	g. Zip Code
<u>(781) 619-9195</u>	<u>(781) 619-9321</u>	<u>lbloom@lcbseiorliving.com</u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Daniel</u>	<u>Feeney</u>	
a. First Name	b. Last Name	
<u>Beals and Thomas, Inc.</u>		
c. Company		
<u>144 Turnpike Road</u>		
d. Street Address		
<u>Southborough</u>	<u>MA</u>	<u>01772-2104</u>
e. City/Town	f. State	g. Zip Code
<u>(508) 366-0560</u>	<u>(508) 366-4391</u>	<u>dfeeney@bealsandthomas.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$1,050.00</u>	<u>\$512.50</u>	<u>\$537.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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A. General Information (continued)

6. General Project Description:

Construction and associated grading of a proposed 78-unit assisted living residence and appurtenant structures

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk	138420
a. County	b. Certificate # (if registered land)
32794; 10798	130; 36
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available)	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
----------------------	-------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	
	1. square feet	_____
		2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	
	1. square feet	_____
		2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	
	1. square feet	_____
		2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____ a. square feet of BVW _____ b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____ a. number of new stream crossings _____ b. number of replacement stream crossings



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Provided by MassDEP:
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Medfield
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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

3/19/2015 MassGIS
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.1.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

- 1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor's Map or right-of-way plan of site

- 2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work**
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. _____ a. NHESP Tracking # _____ b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Medfield
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

<u>Assisted Living Residence in Medfield, Massachusetts, in X sheets</u>	
a. Plan Title	
<u>Beals and Thomas, Inc.</u>	<u>Daniel M. Feeney, PE</u>
b. Prepared By	c. Signed and Stamped by
<u>August 17, 2015</u>	<u>As noted</u>
d. Final Revision Date	e. Scale
<u>Notice of Intent Narrative</u>	<u>August 17, 2015</u>
f. Additional Plan or Document Title	g. Date
- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>238</u>	<u>8/12/2015</u>
2. Municipal Check Number	3. Check date
<u>234</u>	<u>8/07/2015</u>
4. State Check Number	5. Check date
<u>LCB Berkshire Senior Living Holdings LLC</u>	
6. Payor name on check: First Name	7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

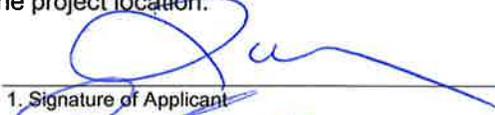
Medfield

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

	<u>8/12/15</u>
1. Signature of Applicant	2. Date
	<u>8/12/15</u>
3. Signature of Property Owner (if different)	4. Date
	<u>8/14/2015</u>
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands**

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Medfield

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	2. Date
<i>[Signature]</i>	8/12/15
3. Signature of Property Owner (if different)	4. Date
<i>[Signature]</i>	8/19/15
5. Signature of Representative (if any)	6. Date
<i>[Signature]</i>	8/14/2015

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

~~Brown~~
Brown



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Medfield

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

	8/12/15
1. Signature of Applicant	2. Date
	8/7/15
3. Signature of Property Owner (if different)	4. Date
	8/14/2015
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

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Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

<u>361 and 363A Main Street</u>	<u>Medfield</u>
a. Street Address	b. City/Town
<u>234</u>	<u>\$512.50</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Lee</u>	<u>Bloom</u>	
a. First Name	b. Last Name	
<u>LCB Senior Living</u>		
c. Organization		
<u>3 Edgewater Drive, Suite 101</u>		
d. Mailing Address		
<u>Norwood,</u>	<u>MA</u>	<u>02062</u>
e. City/Town	f. State	g. Zip Code
<u>(781) 619-9195</u>	<u>(781) 619-9321</u>	<u>lbloom@lcbseiorliving.com</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different): **See Attached for Additional Owners**

<u>LCB Medfield, LLC</u>	<u>LCB Medfield, LLC</u>	
a. First Name	b. Last Name	
c. Organization		
<u>3 Edgewater Drive, Suite 101</u>		
d. Mailing Address		
<u>Norwood,</u>	<u>MA</u>	<u>02062</u>
e. City/Town	f. State	g. Zip Code
<u>(781) 619-9195</u>	<u>(781) 619-9321</u>	<u>lbloom@lcbseiorliving.com</u>
h. Phone Number	i. Fax Number	j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 3b) Construction of Commercial Building	1	\$1,050.00	\$1,050.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Step 5/Total Project Fee:			\$1,050.00
Step 6/Fee Payments:			
Total Project Fee:			\$1,050.00
			a. Total Fee from Step 5
State share of filing Fee:			\$512.50
			b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:			\$537.50
			c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

1. Property owner of parcels 43-183 and 43-184:

a. First Name _____ b. Last Name _____
LCB Medfield, LLC
c. Organization _____
3 Edgewater Drive, Suite 101
d. Street Address _____
Norwood _____ MA _____ 02062
e. City/Town _____ f. State _____ g. Zip Code _____
(781) 619-9195 (781) 619-9321 lbloom@lcbseiniorliving.com
h. Phone Number _____ i. Fax Number _____ j. Email address _____

2. Property owner of parcel 43-066:

Gloria _____ Yankee _____
a. First Name _____ b. Last Name _____
c. Organization _____
361 Main Street
d. Street Address _____
Medfield _____ MA _____ 02052
e. City/Town _____ f. State _____ g. Zip Code _____
h. Phone Number _____ i. Fax Number _____ j. Email address _____

3. Property owner of parcel 51-071:

Stephen J. and Lynn E. _____ Browne _____
a. First Name _____ b. Last Name _____
c. Organization _____
303 Main Street
d. Street Address _____
Medfield _____ MA _____ 02052
e. City/Town _____ f. State _____ g. Zip Code _____
h. Phone Number _____ i. Fax Number _____ j. Email address _____

DEP # _____

**Medfield Wetlands Bylaw, Article IX
Rules and Regulations, Section 6
Fees Worksheet**

Applicant: LCB Senior Living
 Address: 3 Edgewater Drive, Suite 101, Norwood, MA 02062
 Location of Project: 361 and 363A Main Street

TOTAL FILING FEE ENCLOSED	\$2,362.50
Check payable to: Town of Medfield	

- | | | |
|----|--|----------------------------------|
| 1. | <u>Preparation of Legal Notice for Public Hearing</u> | \$25.00 |
| | (Request for Determination of Applicability, Notice of Intent, Amended Order of Conditions, or Abbreviated Notice of Resource Area Delineation) | |
| 2. | <u>Request for a Determination of Applicability</u> _____ @ \$150 each..... | |
| 3. | <u>Notice of Intent:</u> | |
| | A. Site Preparation for infrastructure of development (including roadways, detention basins, removal of vegetation, utilities, grading, etc.) | \$1050.....
_____ |
| | B. Single family house | _____ @ \$700 each.....
_____ |
| | C. Parking Lot | _____ @ \$700 each.....
_____ |
| | D. Limited Projects | _____ @ \$700 each.....
_____ |
| | E. Tennis/Play Court | _____ @ \$500 each.....
_____ |
| | F. Driveway crossings | _____ @ \$500 each.....
_____ |
| | G. Any point source discharge | _____ @ \$500 each.....
_____ |
| | H. Commercial, industrial, institutional or apartment/condominium/townhouse development | \$1800.....
<u>\$1,800.00</u> |
| | I. Site preparation for SFH (including removal of vegetation, excavation and grading) where the house will not be built under the Notice of Intent | \$300.....
_____ |
| | J. Inground swimming pool (including pool deck, cabanas, fencing and landscaping) | \$300.....
_____ |

- K. Minor project to existing house/lot (including addition. deck, shed, driveway - not crossing a resource, septic system, utility work) \$250..... _____
- L. Landscaping, clearing brush, tree cutting, extending lawn, scenic vista \$200..... _____
- M. Any other activity not described under Items 2 & 3 \$500..... _____

Other Activities Within a Notice of Intent:

- N. Any wetlands filling - less than 500 sf \$1000..... _____
- O. Any wetlands filling - more than 500 sf \$1500..... _____
- P. Work within the 50-foot resource area \$500..... _____

- 4. **Abbreviated Notice of Resource Area Delineation Filing** \$200..... _____
Resource Delineation Review at \$100 per resource
 - 1) _____bordering vegetated wetlands
 - 2) _____riverfront
 - 3) _____isolated land subject to flooding
 - 4) _____vernal pool habitat
 - 5) _____bank
 - 6) _____flood plain
 - 7) _____inundated areas _____ @ \$100 each..... _____
- 5. **Extension of an Order of Conditions** _____ @ \$100 each..... _____
- 6. **Amendment of an Order of Conditions** _____ @ \$200 each..... _____
- 7. **Certificate of Compliance (full or partial)** _____ @ \$200 each..... _____
- 8. **Review of Change of Plans** _____ @ \$100 each..... _____
- 9. **Informal Review of Plans** _____ @ \$100 each..... _____
- 10. **Reissue Documents** _____ @ \$50 each..... _____
- 11. **Field Inspection of violations** _____ @ \$50 each..... _____

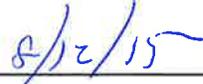
Instructions For Filing Under the Medfield Wetlands Bylaw, Article IX

- 1. Fees are assessed per each activity of a Notice of Intent.
- 2. Make your check payable to the "Town of Medfield".

Instructions For Filing Under the Medfield Wetlands Bylaw, Article IX

1. Fees are assessed per each activity of a Notice of Intent.
2. Make your check payable to the "Town of Medfield".
3. Submit fee check with your application.
4. Submit this signed worksheet with your application.
5. Fee is non-refundable.
6. The time period (21 days) by which the Commission must hold a public meeting/hearing begins once a completed application packet is received.
7. These fees under the Rules and Regulations of the Medfield Wetlands Bylaw are in addition to the fees required by the Commonwealth of Massachusetts under the Massachusetts Wetlands Protection Act.
8. Government projects are exempt from these fees.
9. In addition to these fees, the Commission may require fees for independent consultants. Consultant fees shall be paid by the applicant.

I have read and accept these rules and fees. I agree per Article IX, Section 2, of the Medfield Wetlands Bylaw to pay for the fees of any consultants the Commission requires and understand that the Commission will not issue an Order of Conditions or Certificate of Compliance until I have paid for those services. I consent that the Commission and its agent may enter the property to inspect it pursuant to the Massachusetts Wetlands Protection Act, the Department of Environmental Protection Regulations under the Act and the Medfield Wetlands Bylaw and its associated Regulations from the date of my application until the date of any final Certificate of Compliance.

Signed: _____ Date: _____
 
(Applicant)

Signed: _____ Date: _____

(Representative)

Section 2.0
Project Narrative

2.0 PROJECT NARRATIVE

2.1 Introduction

The Applicant proposes to construct a 78-unit assisted living residence with associated driveway, parking, stormwater management facilities, utilities and grading on Main Street/Route 109 in Medfield, Massachusetts. According to the Town of Medfield Assessor's Office, the Property consists of Assessor's Parcels 43-183 (Main Street), and 43-184 (Main Street), owned by LCB Medfield LLC; 51-071 (Rear Main Street) owned by Stephen J. and Lynn E. Browne; and 43-066 (361 Main Street) owned by Gloria S. Yankee. The total area of these parcels (the Property) consists of approximately 13.78 acres. Refer to the Locus Map included in Section 6.0.

According to the Massachusetts Natural Heritage Atlas 13th Edition, dated October 1, 2008, and confirmed current with MassGIS on March 19, 2015, the Property is not located within Natural Heritage and Endangered Species Program (NHESP)-designated Priority Habitat of Rare Species or Estimated Habitat of Rare Wildlife. NHESP mapping on MassGIS indicates a Potential Vernal Pool (PVP), discussed further in Section 2.2.2.

2.2 Existing Conditions

The Property is primarily undeveloped land forested with mixed-hardwoods, located off of Main Street/Route 109. Portions of the Property are subject to Conservation Restrictions; however, the parcel at 361 Main Street contains a single family home and driveway. The surrounding land use primarily consists of residential use and Conservation Restrictions (CR). The Property is located entirely within the Residential Suburban (RS) district and the Secondary Aquifer Zone of the Aquifer Protection Overlay District, and partially within the Watershed Protection District located 25 feet from the normal high water of Vine Brook and adjacent marshy areas. The Watershed Protection District is located on land within the CR.

According to the Massachusetts Cultural Resource Information System (MACRIS), two historical properties located off Main Street about the Site. The Peak House is listed in the National Register of Historic Places and the Clark Tavern was inventoried by the Massachusetts Historic Commission (MHC). Additionally, the MHC reported in a letter dated August 19, 2009 that the project area is archaeologically sensitive.

The Property is located within the Charles River basin and within a Zone II wellhead protection area. Topography of the Property slopes generally downhill towards the northwest, towards Vine Brook. According to MassGIS, surficial geology of the Property consists of sand and gravel. According to the Natural Resources Conservation Service (NRCS), the Property predominantly consists of the Hinckley, Merrimac and Canton soils throughout the upland portion of the Property. The proposed development is located entirely within the Hinckley soil type, which is suitable for development. Scarborough, Walpole, Swansea and Ridgebury soils are generally coincident with the wetland areas on the property. Refer to Section 2.0 Pre-Development Conditions of the Stormwater Management Report included in Section 4 of this NOI for detailed topographic and soils information.

2.2.1 Wetland Resource Area Defined by 310 CMR 10.00

The following state-regulated wetland resource areas were delineated and/or identified to constrain the Property:

Vine Brook Investigation

Although Vine Brook is depicted as perennial on the 2015 USGS map of Medfield, a perennial stream according to the Act needs to exhibit riverine characteristics, which include, but are not limited to, unidirectional flow that can be visually observed or measured in the field. Vine Brook has been observed dry on numerous occasions downstream of the outlet of Parker's Pond. According to 310 CMR 10.58(2)(a)(1)(d), a stream depicted as perennial on a USGS map can be subsequently found to be intermittent "...based upon a documented field observation that the stream is not flowing. A documented field observation shall be made by a competent source and shall be based upon an observation made at least once per day, over four days in any consecutive 12 month period, during a non-drought period on a stream not significantly affected by drawdown from withdrawals of water supply wells, direct withdrawals, impoundments, or other human-made flow reductions or diversions."

B+T observed no flow in the portion of Vine Brook from the outlet to Parker's Pond to approximately 150 feet downstream of the 363 Main Street site driveway on four days between July 23 and August 3, 2015. B+T also observed discontinuous pools of standing water along the same area between July 6 and July 9, 2015. Leslee Willitts, Medfield Conservation Agent witnessed B+T observations on July 8, 2015, and confirmed that no flow was present. B+T had previously observed no flow in Vine Brook from August 24 to 28, 2009. The 2009 observations were conducted on behalf of the prior landowner, who noted that Vine Brook often dries up in July and August. Please refer to field notes and dated photographs prepared by B+T for documentation of observations, as well as affidavits attesting to the authenticity and veracity of field notes, in Section 5.0.

According to the Massachusetts Emergency Management Agency and the Massachusetts Executive Office of Environmental Affairs, neither the site visit dates from 2009 nor the site visit dates from 2015 fall within a drought period. Based upon B+T's observations, Vine Brook is intermittent downstream of Parker's Pond to at least a point 200 feet beyond the 363 Main Street driveway, and therefore does not have an associated 200-foot Riverfront Area (RFA) on the subject property.

Bank (310 CMR 10.54)

Bank is associated with Vine Brook. However, as Vine Brook resides entirely within a BVW, Bank was not delineated.

Bordering Vegetated Wetland (310 CMR 10.55)

Flags labeled WF-1 through WF-20 delineate the forested/shrub boundary of the BVW. Pink and black colored flags were used to delineate the boundary of BVW. The BVW borders on Vine Brook and is located along the northeast boundary of the Property. The soil within the BVW was observed to contain hydric characteristics. The BVW is vegetated by red maple (*Acer rubrum*), gray birch (*Betula populifolia*), highbush blueberry (*Vaccinium corymbosum*), cinnamon fern (*Osmunda cinnamomea*), goldthread (*Coptis trifolia*), skunk cabbage (*Symplocarpus foetidus*) and sphagnum moss (*Sphagnum* spp.). The upland areas upgradient of the BVW are vegetated by white pine (*Pinus strobus*) and northern red oak (*Quercus rubra*). A DEP transect was performed at WF-10.

In addition to the on-site BVW, off-site BVW constraining the Property were survey located by a wetland scientist, but are not delineated by resource flags.

Land Under Water Bodies and Waterways (310 CMR 10.56)

Land Under Water Bodies and Waterways (LUWW) is associated with Vine Brook. The boundary of LUWW, defined as "mean annual low water level" was not determined, however, as it lies within another resource area.

Isolated Land Subject to Flooding (310 CMR 10.57)

An inundated depression in the central portion of the site may represent Isolated Land Subject to Flooding (ILSF). However, because this depression is contained entirely within local resource areas with associated buffer zones as discussed in Section 2.2.2, a calculation was not performed.

Buffer Zone

A state-jurisdictional buffer zone extends 100 feet from BVW and Bank, however is not itself considered a resource area.

2.2.2 Wetland Resource Areas Defined by the Medfield Wetland Bylaw and Rules and Regulations

In addition to state-regulated resource areas, the following resource areas as defined by Town of Medfield Wetlands Bylaw and Rules and Regulations were observed on-site:

Vernal Pool

The Town of Medfield Wetland Protection Bylaw protects vernal pools and land 100 feet from the vernal pool boundary (mean annual high-water line) as a resource area, and more specifically defines them as “...*any confined basin or depression not occurring in existing lawns, gardens, landscaped areas or driveways which, at least in most years, holds water for a minimum of two continuous months during the spring and/or summer, contains at least 200 cubic feet of water at some time during most years, is free of adult predatory fish populations, and which actually provides essential breeding and rearing habitat functions for amphibian, reptile or other vernal pool community species, regardless whether the site has been certified by the Massachusetts Division of Fisheries and Wildlife.*”

B+T performed a vernal pool investigation in May 2015 to determine whether the PVP mapped on the Property by NHESP met certifiable status in accordance with the 2009 NHESP *Guidelines for Certification of Vernal Pool Habitat*. Sampling included dip-netting the water column, stirring up the bottom leaf litter and dip-netting, sorting through leaf litter along the pool edges, and visual and audio surveys.

Pink flags labeled VP-1 through VP-8 delineate the limits of maximum high water line associated with the VP #1. The maximum high water limit of the vernal pool was identified by water stained leaves and water marks on trees.

VP #1 can be best defined as an inundated depression comprised of sand and gravel. VP #1 was observed inundated with an average depth of 1 to 1.5 feet on the date of investigation. The bottom of the pool was observed to consist of organic muck and covered with leaf litter which provides suitable shelter/habitat for amphibian juveniles. A spotted salamander (*Ambystoma maculatum*) egg mass was observed approximately 20 feet from VP-5 and VP-6, and greater than 100 fairy shrimp (*Eubranchipus* spp.) were observed during the investigation. No Massachusetts state-listed rare species were identified in the investigated pool.

VP #1 was determined to contain certifiable status.



General view of vernal pool looking north from VP-5. Photograph taken May 4, 2015.



Spotted salamander egg mass. Photograph taken May 4, 2015.



Fairy shrimp. Photograph taken May 4, 2015.

Local Buffer Zone

In addition to the state-regulated 100-foot buffer zone to BVW and Bank, the Town of Medfield imposes 100-foot buffer zones to freshwater wetlands, land subject to flooding, LUWW and Vernal Pools. The locally regulated buffer zone is considered a resource area. The Town of Medfield additionally regulates a 50-foot Undisturbed Buffer Area within the 100-foot buffer zone.

2.3 Proposed Conditions

The Project consists of a 78-unit, 85-bed assisted living residence within a 2.5-story building with a 24,600 sf footprint, and appurtenances such as the driveway, parking, stormwater management facilities and utilities.

Portions of the 100-foot buffer zone to on- and off-site BVW will be cleared and graded for site preparation. A portion of the gravel fire lane is located within the 100-foot buffer zone. Structures within the 100-foot buffer zone include retaining walls with a maximum height of 5 feet, approximately 324 sf of the parking lot, and approximately 13 sf of the building footprint. No work is proposed within the 50-foot Undisturbed Buffer Area.

The fire lane and its associated retaining wall border the vernal pool buffer zone. The building is located approximately 130 feet from the VP, and approximately 30 feet from vernal pool buffer zone as defined by the Bylaw at its closest point. No work is proposed within the vernal pool or the 100-foot vernal pool buffer.

Erosion control barriers in the form of straw wattles with silt fence will be placed around the limit of work adjacent to sensitive resource areas. Runoff will be captured by a subsurface infiltration basin located beneath the proposed parking lot. A portion of the infiltration basin and the associated water quality structures are located within the 100-foot buffer zone to BVW. Refer to Section 3.0 Post-Development Conditions of the Stormwater Management Report included in Section 4 of this NOI for information on existing and proposed hydrology and compliance with DEP Stormwater Management Policy.

2.4 Interests of the Massachusetts Wetlands Protection Act and the Town of Medfield Wetlands Bylaw and Rules and Regulations

The following is a discussion of the relationship of the project site to the interests of the Massachusetts Wetlands Protection Act (Act) as defined by 310 CMR 10.01(2) and the Town of Medfield Wetlands Bylaw (the Bylaw) and Rules and Regulations (the Regulations).

2.4.1 Protection of Public and Private Water Supply and Ground Water Supply

The proposed residence is located within a Zone II wellhead protection area, and within the Aquifer Protection Overlay District. The on-site stormwater management system has been designed to treat and infiltrate greater than 15 % but less than 20% artificial recharge. Refer to Section 4: Stormwater Management Information for additional information on proposed stormwater design. Therefore, the public and private water supply and groundwater supply protection interests of the Act, Bylaw and Regulations will be upheld.

2.4.2 Flood Control and Storm Damage Prevention

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for the Town of Medfield (Community Panel Number 25021C0158E dated July 17, 2012), Bordering Land Subject to Flooding (BLSF) is not located on the Property. In addition, no stormwater discharges to the potential ILSF within the vernal pool are proposed. The total volume and rate of runoff discharged offsite will not increase as a result of the Project. Therefore, the flood control and storm damage prevention interests of the Act, Bylaw, and Regulations will be maintained.

2.4.3 Prevention of Pollution and Erosion Control

Erosion control barriers in the form of straw wattles with silt fence will be placed around the limit of work adjacent to sensitive resource areas. No work is proposed within the 50-foot Undisturbed Buffer Area. Runoff will be captured by a subsurface infiltration basin. Refer to Section 4: Stormwater Management Information for discussion of the proposed stormwater management system in relation to the standards of the DEP Stormwater Management Policy. Therefore, the pollution and erosion control interests of the Act, Bylaw and Regulations will be upheld.

2.4.4 Protection of Fisheries, Shellfisheries and Wildlife Habitat

The Site is not located within NHESP-designated Priority Habitat of Rare Species or Estimated Habitat of Rare Wildlife. No work is proposed within the 100 feet of resource area adjacent to the mean annual high water line of the vernal pool. In addition, no Massachusetts state-listed rare species were identified in the vernal pool. No impacts to Vine Brook or the waters to which it is tributary are proposed. Therefore, the fisheries, shellfisheries, and wildlife habitat interests of the Act, Bylaw and Regulations will be protected.

2.4.5 Recreation

The Property is privately owned and not available for recreational uses. Therefore, the recreation value of the Bylaw and Regulations will not be impacted.

2.4.6 Aesthetics

The 50-foot Undisturbed Buffer Area and vernal pool habitat will remain vegetated, protecting the aesthetic qualities of the on- and off-site wetlands. In addition, plantings located outside of the 100-foot buffer zone are proposed to screen the residence from abutting properties and minimize the visual impact. Therefore, the aesthetics interests of the Bylaw and Regulations will be upheld.

Section 3.0
Abutter Information

Certified List of Abutters

Affidavit of Service

Notification to Abutters

43-183, 43-184, 51-071 + 43-066 100 ft

365 MAIN ST 43-064
LUC: 101

PERKINS SCOTT E.
FLOYD SUSAN T.
365 MAIN ST.
MEDFIELD, MA 02052

363 MAIN ST 43-065
LUC: 101

KING FREDERICK
363 MAIN ST
MEDFIELD, MA 02052

361 MAIN ST 43-066
LUC: 101

YANKEE GLORIA S
361 MAIN STREET
MEDFIELD, MA 02052

353 - 355 MAIN ST 43-067
LUC: 104

JML GROUP, LLC
120 HIGH ST.
MEDFIELD, MA 02052

347 MAIN ST 43-068
LUC: 931

MEDFIELD HISTORICAL SOCIETY
P O BOX 233
MEDFIELD, MA 02052

354 MAIN ST 43-069
LUC: 101

WILLIAMS DEBORAH H TRUSTEE
DEBORAH WILLIAMS REV TR
354 MAIN ST
MEDFIELD, MA 02052

358 MAIN ST 43-070
LUC: 101

GILLIS JOSEPH A T/E
GILLIS MARY V
358 MAIN ST
MEDFIELD, MA 02052

MAIN ST 43-153
LUC: 930

MEDFIELD HISTORICAL SOCIETY
6 PLEASANT ST
MEDFIELD, MA 02052

MAIN ST 43-183
LUC: 130

LCB MEDFIELD, LLC
3 EDGEWATER DRIVE - SUITE 101
NORWOOD, MA 02062

MAIN ST 43-184
LUC: 132

LCB MEDFIELD, LLC
3 EDGEWATER DR. - SUITE 101
NORWOOD, MA 02062

367 MAIN ST 43-185
LUC: 132

WHN HOLDINGS, LLC
682 MARRETT RD
LEXINGTON, MA 02173

318 MAIN ST 44-106
LUC: 101

DONAHUE SCOTT A
DONAHUE JENNIFER E
318 MAIN ST
MEDFIELD, MA 02052

339 MAIN ST 44-120
LUC: 109

CLARKE RICHARD T T/E
CLARKE EVELYN
339 MAIN ST
MEDFIELD, MA 02052

303 MAIN ST 51-001
LUC: 101

BROWNE STEPHEN J T/E
BROWNE LYNN E
303 MAIN STREET
MEDFIELD, MA 02052

298 MAIN ST 51-066
LUC: 101

MCCARTHY PETER D
MCCARTHY ELLEN G
298 MAIN ST
MEDFIELD, MA 02052

306 MAIN ST 51-067
LUC: 101

MCMAHON EDWARD F J/T
LOGAN KATHLEEN A
306 MAIN ST
MEDFIELD, MA 02052

310 MAIN ST 51-068
LUC: 101

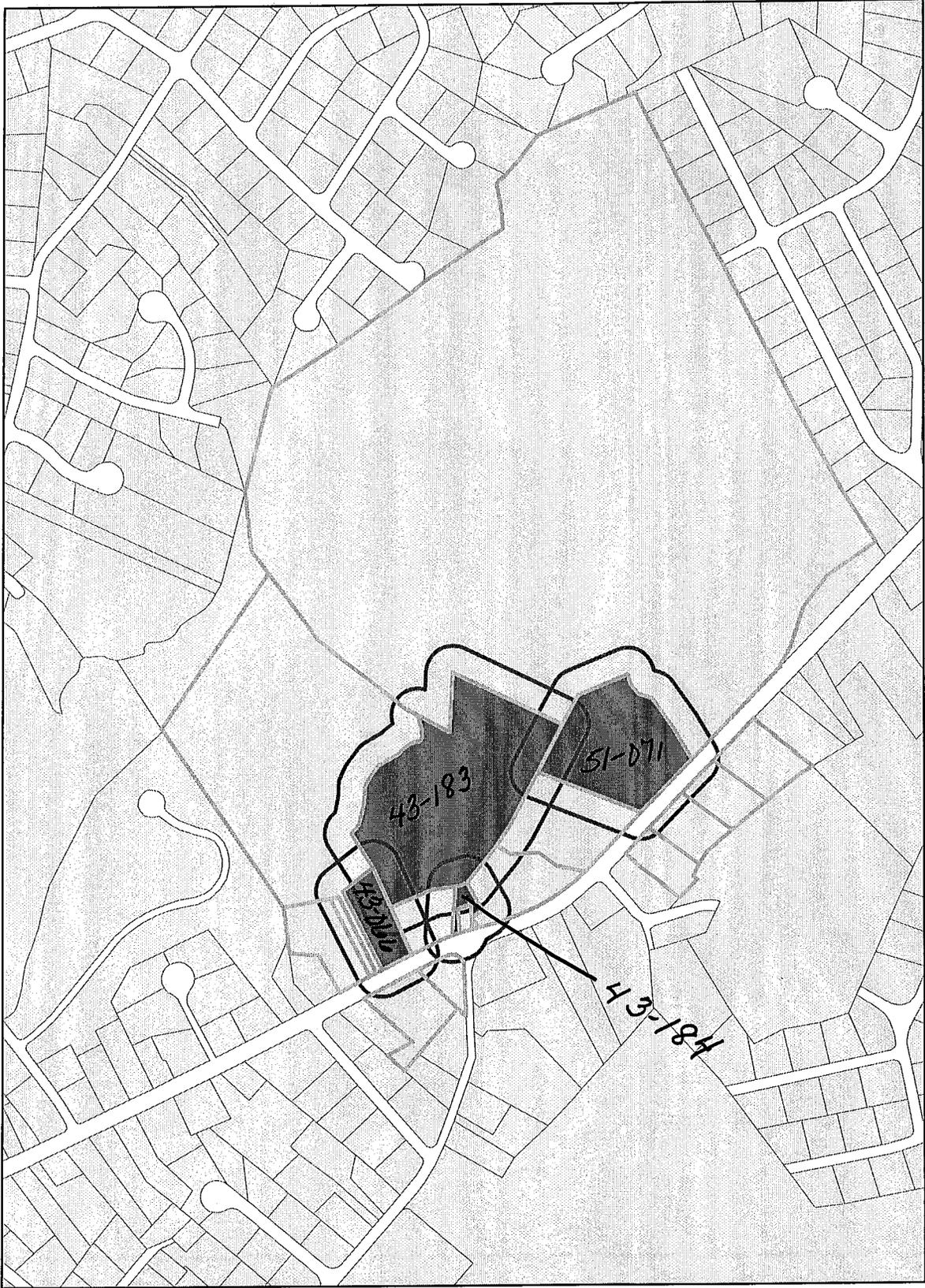
FRASCA THOMAS C
JANE C TRS
287 RIDGE ST.
MILLIS, MA 02054

MAIN ST 51-071
LUC: 132

BROWNE STEPHEN J T/E
BROWNE LYNNE E
303 MAIN ST
MEDFIELD, MA 02052

335 MAIN ST 51-076
LUC: 101

STEPHENSON DAVID T/E
STEPHENSON REBECCA
335 MAIN STREET
MEDFIELD, MA 02052



AFFIDAVIT OF SERVICE

**Under the Massachusetts Wetlands Protection Act
and the Town of Medfield Wetlands Bylaw and Rules and Regulations**

I, **Mary Kate Schneeweis**, hereby certify under the pains and penalties of perjury that on August 19, 2015, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by **LCB Senior Living** with the **Medfield Conservation Commission** on **August 19, 2015** for property located at **361 and 363A Main Street**.

The form of the notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

Mary Kate Schneeweis
Name

8/19/2015
Date

Notification to Abutters
Massachusetts Wetlands Protection Act
And
Medfield Wetlands Protection Bylaw

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act General Laws Chapter 131, Section 40, and the Medfield Wetlands Protection Bylaw, Article IX, you are hereby notified of the following:

1. Applicant's Name LCB Senior Living
2. The applicant has filed a Notice of Intent with the Medfield Conservation Commission seeking permission to:
Perform grading and construct appurtenances associated with a proposed 78-unit assisted living residence within the buffer zone to resource areas
3. The wetlands resource areas associated with this project are:
Bank, Bordering Vegetated Wetland, Land Under Waterbodies and Waterways, Isolated Land Subject to Flooding, Vernal Pool, associated Buffer Zone
4. **No work** is proposed in the resource areas. All or some work is proposed within the 100-foot buffer zone of the resource areas. Yes ___ No

If no, please identify the resource areas that you are: "seeking permission to remove, fill, dredge or alter as an Area subject to Protection Under the MA Wetlands Protection Act, GL, Chap. 131, Sec. 40, and the Medfield Wetlands Bylaw, Article IX".

5. The location of the proposed work is 361 and 363A Main Street
Assessor's Map 43; 51 Parcel 066, 183, 184; 071

6. Copies of the Notice of Intent can be reviewed at:

Medfield Town Hall, 459 Main Street
Conservation Office, 2nd floor
Tuesdays, Wednesdays & Thursdays
Please call ahead: 508 906-3028.

7. Copies of the Notice of Intent can be obtained from:

Beals and Thomas, Inc., (508) 366-0560

8. The date, time and place of the public hearing is:

September 17, 2015, 7:30 PM
Town Hall, 2nd Floor, Chenery Room

Note: Notice of the public hearing, including its date, time and place will be posted in Medfield Town Hall not less than 48-hours in advance.

Note: You may also contact the Massachusetts Department of Environmental Protection, Central Region, at 508 792-7650 for more information about this application or the MA Wetlands Protection Act.

Section 4.0

Stormwater Management Information (Under Separate Cover)

Checklist for Stormwater Report

Stormwater Management Report

Section 5.0
Wetland Boundary Documentation

DEP Transect Forms

Vine Brook Intermittent Stream Documentation, dated August 13, 2015

Affidavits of Authenticity and Veracity of Intermittent Stream Observations

MassDEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: LCB Senior Living Prepared by: John E. Thomas, Jr., B+T Project location: Medfield, Massachusetts DEP File #: _____
 Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
- Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
- Method other than dominance test used (attach additional information)

Section I.

Layer	Vegetation A. Sample Layer & Plant Species (by common/scientific name)	Observation Plot Number: Wetland		Transect Number: WF-10	Date of Delineation: 4/4/2015
		B. Percent Cover (or basal Area)	C. Percent Dominance		
Herbaceous	Sphagnum Moss (<i>Sphagnum</i> spp.)	10.5	100	Y	OBL*
Shrub	Highbush Blueberry (<i>Vaccinium corymbosum</i>)	10.5	44	Y	FACW-*
	Red Maple (<i>Acer rubrum</i>)	10.5	44	Y	FAC*
	White Pine (<i>Pinus strobus</i>)	3	12	N	FACU
Tree	Red Maple (<i>Acer rubrum</i>)	10.5	33	Y	FAC*
	White Pine (<i>Pinus strobus</i>)	10.5	33	Y	FACU
	Northern Red Oak (<i>Quercus rubra</i>)	10.5	33	Y	FACU-

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 4

Number of dominant non-wetland indicator plants: 2

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? **Yes**

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent

Section II. Indicators of Hydrology

Other Indicators of Hydrology: (check all that apply & describe)

- Site Inundated: _____
- Depth to free water in observation hole: _____
- Depth to soil saturation in observation hole: _____
- Water marks: _____
- Drift lines: _____
- Sediment Deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded Data (streams, lake, or tidal gauge; aerial photo; other):

- Other: _____

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes
 title/date: Soil Survey of Norfolk County Massachusetts, Northeastern
 Part
 map number: Web Soil Survey
 soil type mapped: Walpole sandy loam, 0-3% slopes
 hydric soil inclusions: No

Are field observations consistent with soil survey? Yes
 Remarks:

2. Soil Description

Horizon	Depth	Matrix Color	Mottles Color
	0" – 14"	10 YR 2/1	muck/organic
	14" – 18"	10 YR 5/2	

Remarks:

3. Other:

Conclusion: Is soil hydric? **Yes**

Vegetation and Hydrology Conclusion

Yes No

Number of wetland indicator plants
 ≥ # of non-wetland indicator plants

X

—

Wetland hydrology present:

Hydric soil present

X

—

Other indicators of hydrology present

—

X

Sample location is in a BVW

X

—

Submit this form with the Request for Determination of Applicability or Notice of Intent.

MassDEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: LCB Senior Living Prepared by: John E. Thomas, Jr., B+T Project location: Medfield, Massachusetts DEP File #: _____
 Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
- Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
- Method other than dominance test used (attach additional information)

Section I.

Layer	Vegetation A. Sample Layer & Plant Species (by common/scientific name)	Observation Plot Number: Upland		Transect Number: WF-10	Date of Delineation: 4/4/2015
		B. Percent Cover (or basal Area)	C. Percent Dominance		
Herbaceous	White Pine (<i>Pinus strobus</i>)	10.5	100	Y	FACU
Shrub	White Pine (<i>Pinus strobus</i>)	20	100	Y	FACU
Tree	Red Maple (<i>Acer rubrum</i>)	10.5	44	Y	FAC*
	White Pine (<i>Pinus strobus</i>)	10.5	44	Y	FACU
	Northern Red Oak (<i>Quercus rubra</i>)	3	12	N	FACU-

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c. 131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 1

Number of dominant non-wetland indicator plants: 3

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? **No**

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent

Section II. Indicators of Hydrology

Other Indicators of Hydrology: (check all that apply & describe)

- Site Inundated: _____
- Depth to free water in observation hole: _____
- Depth to soil saturation in observation hole: _____
- Water marks: _____
- Drift lines: _____
- Sediment Deposits: _____
- Drainage patterns in BVW: _____
- Oxidized rhizospheres: _____
- Water-stained leaves: _____
- Recorded Data (streams, lake, or tidal gauge; aerial photo; other):

- Other: _____

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? Yes
 title/date: Soil Survey of Norfolk County Massachusetts, Northeastern
 Part
 map number: Web Soil Survey
 soil type mapped: Walpole sandy loam, 0-3% slopes
 hydric soil inclusions: No

Are field observations consistent with soil survey? No
 Remarks:

2. Soil Description

Horizon	Depth	Matrix Color	Mottles Color
	0" – 9"	10 YR 3/3	
	14" – 18"	10 YR 5/4	Fine Sandy Loam

Remarks:

3. Other:

Conclusion: Is soil hydric? **No**

Vegetation and Hydrology Conclusion

	Yes	No
Number of wetland indicator plants ≥ # of non-wetland indicator plants	_____	X _____
Wetland hydrology present:		
Hydric soil present	_____	X _____
Other indicators of hydrology present	_____	X _____
Sample location is in a BVW	_____	X _____

Submit this form with the Request for Determination of Applicability or Notice of Intent.

TO: Medfield Conservation Commission

FROM: Daniel Feeney, Beals and Thomas, Inc.
Christopher Taylor, Beals and Thomas, Inc.
John Thomas Jr., Beals and Thomas, Inc.

DATE: August 13, 2015

REFERENCE: Vine Brook Intermittent Stream Documentation
Assisted Living Residence
361 and 363A Main Street
Medfield, Massachusetts
B+T Project No. 2177.04

This memo documents and summarizes observations of Vine Brook conducted in accordance with the Wetlands Protection Act at 310 CMR 10.58(2)(1)1.d.

Vine Brook is depicted as a perennial stream on the latest USGS quadrangle of Medfield, Massachusetts, dated 2015. However, a stream depicted as perennial on a USGS map can be subsequently found to be intermittent under the Wetlands Protection Act “...based upon a documented field observation that the stream is not flowing. A documented field observation shall be made by a competent source and shall be based upon an observation made at least once per day, over four days in any consecutive 12 month period, during a non-drought period on a stream not significantly affected by drawdown from withdrawals of water supply wells, direct withdrawals, impoundments, or other human-made flow reductions or diversions.”

Observations of no flow in Vine Brook between the outlet of Parker’s Pond and approximately 200 feet downstream of the driveway at 363 Main Street were made once per day on four days between July 23, 2015 and August 3, 2015. These observations are documented below with field notes and dated photographs. Additional observations of reduced or no flow were made between July 6 and July 9, 2015, and between August 24 and August 28, 2009. These observations are documented below with abbreviated field notes. Complete field notes and photographs of the additional site visit dates are available upon request. Affidavits signed attesting to the authenticity and veracity of the field notes and photographs are attached to this memorandum.

According to the Massachusetts Emergency Management Agency and the Massachusetts Executive Office of Environmental Affairs, these site visit dates do not fall within a drought period. According to MassGIS, there are no dams or public water supply wells located upstream of the site that may affect the flow of Vine Brook.

1. July 23, 2015 by Daniel Feeney: Vine Brook was observed to be dry from the 363 Main Street driveway crossing to the outlet at Parker’s Pond, and upstream of the inlet at Parker’s Pond.



Views of dry stream bed downstream and upstream at 363 Main Street site driveway



Views of dry stream bed upstream of 363 Main Street site driveway



Views of dry stream bed downstream and upstream at bridge at WF-17



View of no flow at outlet to Parkers Pond

2. July 24, 2015 by Christopher Taylor: Vine Brook was observed to be dry from the 363 Main Street driveway crossing to the outlet at Parker's Pond, and upstream of the inlet at Parker's Pond.



Views of dry stream bed downstream and upstream at 363 Main Street site driveway



Views of dry stream bed downstream and upstream at bridge at WF-17



Views of dry stream bed upstream of bridge at WF-17, and no flow at outlet to Parkers Pond

3. July 27, 2015 by Daniel Feeney: Vine Brook was observed to be dry from the 363 Main Street driveway crossing to the outlet at Parker's Pond, and upstream of the inlet at Parker's Pond.



Views of dry stream bed downstream of 363 Main Street site driveway



Views of dry stream bed downstream and upstream at 363 Main Street site driveway



Views of dry stream bed upstream of 363 Main Street site driveway



Views of dry stream bed upstream and downstream at bridge at WF-17



Views of dry stream bed upstream of bridge at WF-17

4. August 3, 2015 by Daniel Feeney: Vine Brook was observed to be dry from the 363 Main Street driveway crossing to the outlet at Parker's Pond, and upstream of the inlet at Parker's Pond.



Views of dry stream bed downstream of 363 Main Street site driveway



Views of dry stream bed downstream and upstream at 363 Main Street site driveway



Views of dry stream bed upstream of 363 Main Street site driveway



Views of dry stream bed downstream and upstream at bridge at WF-17



Views of dry stream bed upstream of bridge at WF-17

Prior 2015 Observations

- July 6, 2015 by Daniel Feeney: Observed no flow at the 363 Main Street driveway crossing, small continuous puddles upstream of WF-6.
- July 7, 2015 by Christopher Taylor: Observed a small trickle of flow at the outlet of Parker's Pond, primarily standing water from the outlet of Parkers Pond until approximately WF-7. Flowing water only observed to the southwest of the bridge crossing between WF-17 and WF-13. No flow observed from WF-7 to approximately 200 feet southwest of the 363 Main Street driveway crossing.
- July 8, 2015 by Christopher Taylor with Medfield Conservation Agent Leslee Willitts: Observations same as July 7, except flow ceased at approximately WF-8.
- July 9, 2015 by Christopher Taylor: Observed no flow in Vine Brook for several hundred feet directly upstream of Parkers Pond. Observed a small trickle of flow at the outlet of Parker's Pond, primarily standing water from the outlet of Parker's Pond until

approximately WF-9. Flowing water only observed to the southwest of the bridge crossing between WF-17 and WF-13. No flow was observed within Vine Brook from approximately WF-9 to approximately 500-feet southwest of the 363 Main Street driveway crossing.

- July 10, 2015 by Daniel Feeney: Vine Brook observed flowing at the 363 Main Street driveway crossing.

2009 Observations

- August 24, 2009 by John Thomas, Sr.: Observation of the upstream side of the culvert at 363 Main Street confirmed that flow had ceased. Additionally, areas downstream of the culvert exhibited a dry stream bed.
- August 26, 2009 by John Thomas, Jr.: Observation of the upstream side of the culvert at 363 Main Street confirmed no apparent flow. Additionally, areas downstream of the culvert continue to exhibit a dry stream bed.
- August 27, 2009 by John Thomas, Jr.: Observation of the upstream side of the culvert at 363 Main Street confirmed no apparent flow. Additionally, areas downstream of the culvert continue to exhibit a dry stream bed.
- August 28, 2009 by John Thomas, Sr.: The stream bed upstream and downstream of the culvert at 363 Main Street was completely dry. Discontinuous pools present earlier in the week has disappeared

DMF/CPT/mks/217704MR005

AFFIDAVIT

**Under the Massachusetts Wetlands Protection Act
and the Town of Medfield Wetlands Bylaw and Rules and Regulations**

I, **John E. Thomas, Jr.**, WPIT, of Beals and Thomas, Inc., hereby certify under the pains and penalties of perjury that the field notes, photographs, video, and other credible evidence enclosed herein are true and accurate copies from observations made from August 24, 2009 to August 28, 2009, pursuant to 310 CMR 10.58(2)(a)(1)(d).

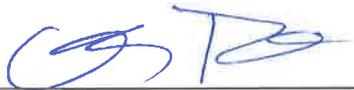

Name _____

8-12-2015
Date _____

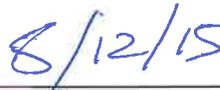
AFFIDAVIT

**Under the Massachusetts Wetlands Protection Act
and the Town of Medfield Wetlands Bylaw and Rules and Regulations**

I, **Chris P. Taylor**, EIT, ENV SP, of Beals and Thomas, Inc., hereby certify under the pains and penalties of perjury that the field notes, photographs, video, and other credible evidence enclosed herein are true and accurate copies from observations made from July 7, 2015 to July 24, 2015, pursuant to 310 CMR 10.58(2)(a)(1)(d).



Name



Date

AFFIDAVIT

**Under the Massachusetts Wetlands Protection Act
and the Town of Medfield Wetlands Bylaw and Rules and Regulations**

I, **Daniel M. Feeney**, PE, LEED AP, of Beals and Thomas, Inc., hereby certify under the pains and penalties of perjury that the field notes, photographs, video, and other credible evidence enclosed herein are true and accurate copies from observations made from July 6, 2015 to August 3, 2015, pursuant to 310 CMR 10.58(2)(a)(1)(d).


Name


Date

**Section 6.0
Plans**

USGS Map

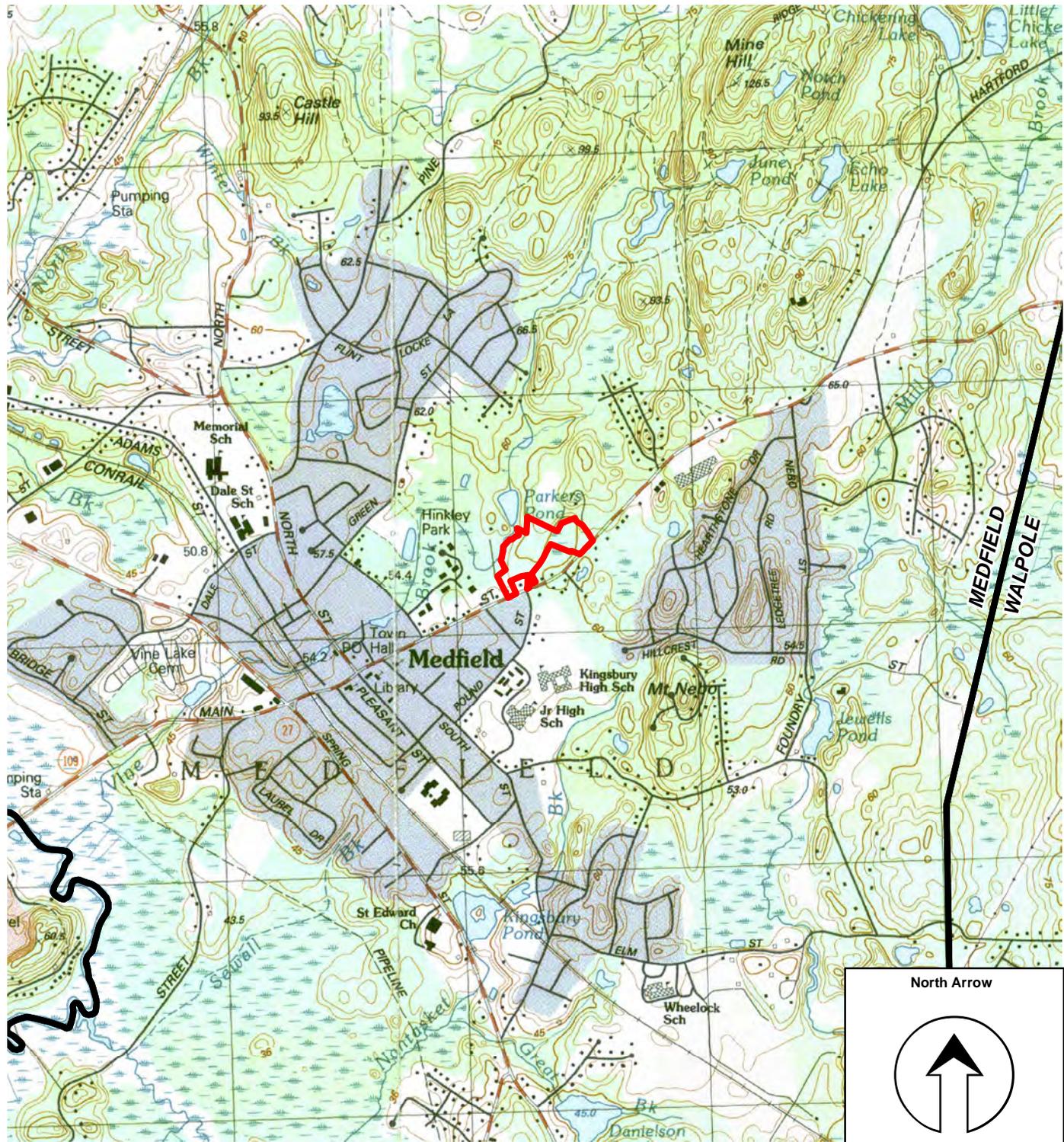
Aerial Map

Entitled “Assisted Living Residence in Medfield, Massachusetts”

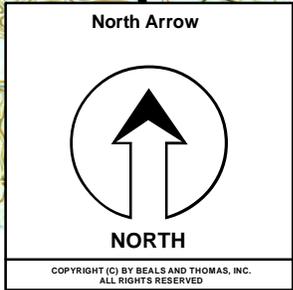
Prepared by Beals and Thomas, Inc.

In 12 Sheets

Dated August 17, 2015



Digital USGS Map of Medfield, MA, dated 1987, provided by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Energy and Environmental Affairs.



Assisted Living Facility
 Medfield, Massachusetts

LCB Senior Living

3 Edgewater Drive, Suite 101
 Norwood, MA 02062

Locus Map
 Figure 1

Scale: 1" = 2,000'

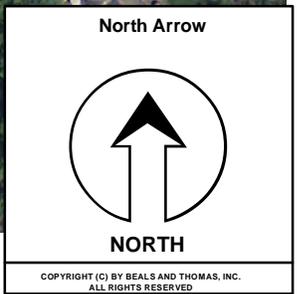
Date: 05/06/2015

Source File 217704P032A.mxd
 B+T Project No. 2177.04



Digital orthophotograph, dated 2013, provided by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Energy and Environmental Affairs.

0 100 200 400
FEET



Assisted Living Facility Medfield, Massachusetts

LCB Senior Living

3 Edgewater Drive, Suite 101
Norwood, MA 02062

Aerial Map Figure 2

Scale: 1" = 200'

Date: 05/06/2015

Source File 217704P033A.mxd

B+T Project No. 2177.04

ASSISTED LIVING FACILITY IN MEDFIELD, MASSACHUSETTS (Norfolk County)

OWNER/APPLICANT

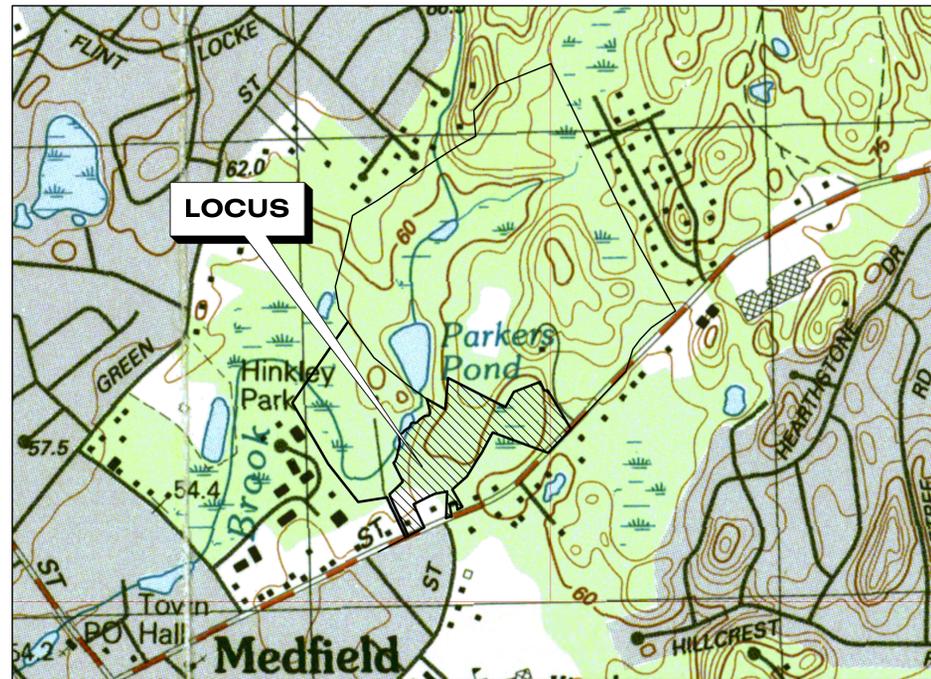
LCB Senior Living
9 Edge Water Drive, Suite 100
Norwood, Massachusetts 02062

CIVIL ENGINEER/SURVEYOR AND LANDSCAPE ARCHITECT

Beals and Thomas, Inc.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772

ARCHITECT

The Architectural Team
50 Commandant's Way at Admiral's Hill
Chelsea, MA 02150



Locus Map
Scale: 1" = 600'



SHEET INDEX

	Cover Sheet
C1.1	Notes, References and Legend Sheet
TP-1	Topographic Plan
C2.1	Site Preparation Plan
C3.1	Layout and Materials Plan
C4.1	Grading and Drainage Plan
C5.1	Utilities Plan
C6.1	Landscape and Lighting Plan
C7.1-C7.4	Site Details

Permit Plan Set - August 17, 2015

Job No.: 2177.04
Plan No.: 217704P027A-001
Sheet 1 of 12

GENERAL NOTES

THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND ARCHITECT AS REQUIRED.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

PORTIONS OF THE ROADWAY AND ROADSIDE AREA DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR CONDITIONS PRIOR TO DISTURBANCE.

CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.

FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.

NEW EXCAVATION AND TRENCH SAFETY REGULATIONS ARE IN EFFECT AS OF MARCH 1, 2015. REFER TO 520 CMR (14:00) ALL EXCAVATORS OR CONTRACTORS MUST OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.

LAYOUT AND MATERIALS NOTES

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.

DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB.

DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL STAKE OUT BUILDING FROM THE LATEST ARCHITECTURAL DRAWINGS.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING, LIGHTING, ENTRANCE PATIO, DOORWAY PADS, LOADING DOCK DETAILS, ETC.

ACCESSIBLE RAMPS SHALL BE PER MASSACHUSETTS STATE CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES (WHICHEVER IS MORE STRINGENT).

EACH HANDICAP PARKING SPACE SHALL BE IDENTIFIED BY A SIGN SIX (6) FEET IN HEIGHT LOCATED AT THE FACE OF THE CURBLINE. THE SIGN SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-336, (SEE DETAIL).

PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

GRADING, DRAINAGE AND UTILITY NOTES

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES, ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES, GRADES AND OTHER SPECIFIC REQUIREMENTS OR SPECIFICATIONS OF THE TOWN OF MEDFIELD DPW.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND SANITARY SEWER MANHOLES ARE APPROXIMATE.

INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY AND DPW STANDARDS.

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

ALL DRAINAGE PIPES SHALL BE SMOOTH WALLED CORRUGATED POLYETHYLENE PIPE (ADS N-12 OR APPROVED EQUAL) EXCEPT WHERE NOTED OTHERWISE.

ALL SANITARY PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.

WATER LINE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.

INSULATE SANITARY PIPES WHERE INVERT DEPTH IS LESS THAN FOUR (4) FEET BELOW FINISHED GRADE.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.

ALL WATER WORKS SHALL CONFORM TO MEDFIELD DPW, WATER DIVISION SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER. GAS, ELECTRIC, TELEPHONE AND FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES AND FIRE DEPARTMENT.

ABANDON EXISTING UTILITY SERVICES ON SITE ACCORDING TO UTILITY COMPANY AND TOWN OF MEDFIELD REQUIREMENTS.

THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION.

ALL WATER UTILITY IMPROVEMENTS SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION STANDARDS AND THE TOWN OF MEDFIELD WATER DEPARTMENT SPECIFICATIONS.

RIP RAP APRONS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS.

WETLANDS ARE TO REMAIN UNDISTURBED. NO ENCROACHMENT PERMITTED.

REFER TO DRAINAGE CALCULATIONS FOR PIPE SLOPES.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

PLANTING AND LIGHTING NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED PINE BARK MULCH TO A DEPTH OF THREE (3) INCHES.

CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.

NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.

LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.

REGRADE STOCKPILE AREA AFTER REMOVAL OF SURPLUS MATERIALS (SEE SITE WORK SPECIFICATIONS). LOAM AND SEED THE DISTURBED AREA.

DIMENSIONS FOR LIGHT LOCATIONS ARE TO THE CENTER OF MOUNTING POLES.

ALL LIGHT MOUNTING POLES SHALL BE LOCATED AT A MINIMUM OF FIVE (5) FEET FROM BACK OF CURB. POLES SHALL BE FLUSH WITH GRADE UNLESS OTHERWISE NOTED.

CUTOFF LUMINAIRE FIXTURES WILL BE UTILIZED TO ENSURE NO OFF SITE GLARE IS CREATED.

TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE ENGINEER, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRIABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.

THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR (4) INCHES AFTER SETTING ON ALL STRIPPED PLANTED AREAS INCLUDING SLOPE STABILIZATION, LAWN AREAS AND PLANTING BEDS AFTER FILLS ARE PROPERLY SETTLED AND SUBGRADE HAS BEEN APPROVED BY THE OWNER. THE SETTLED TOPSOIL SHALL BE UP TO THE FINISHED GRADE AS CALLED FOR ON THE DRAWINGS. SCARIFY SUBGRADE TO A DEPTH OF TWO (2) INCHES BEFORE PLACING TOPSOIL.

REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE.

SPREAD 10-10-10 FERTILIZER AT A RATE OF TWENTY-TWO (22) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET AND INCORPORATE INTO THE SOIL UNIFORMLY.

APPLY DOLOMITIC LIME AT THE RATE OF ONE HUNDRED (100) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET THE AREAS BEING PREPARED FOR PLANTING.

PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL OR AT SUCH TIMES AS APPROVED BY THE OWNER. PROVIDE SURFICIENT HOSE AND SPRINKLER HEADS FOR ADEQUATE WATERING TO MAINTAIN A MOIST SEED BED AT ALL TIMES.

PLANTING SEED SHALL BE SOWN EVENLY WITH MECHANICAL SPREADER OR BY HAND AT THE RATE OF SIX (6) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. ALL SEEDING SHALL BE DONE ON DAYS WHEN THE WIND DOES NOT EXCEED A VELOCITY OF FIVE (5) MILES PER HOUR AND THE SEED SHALL BE DRY.

AFTER SEEDING, THE SURFACE OF THE SOIL SHALL BE EVENLY RAKED WITH A FINE-TOOTHED RAKE AND THEN ROLLED WITH A HAND ROLLER WEIGHING NOT LESS THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH.

STRAW MULCH SHALL BE SPREAD UNIFORMLY OVER ALL SEEDED AREAS AT THE RATE OF TWO (2) BALES PER ONE THOUSAND (1,000) SQUARE FEET.

WATER, MULCH AND SEED BED THOROUGHLY AND IMMEDIATELY AFTER COMPLETION OF MULCHING. SOIL SHALL BE MOISTENED TO A DEPTH OF FOUR (4) INCHES. CONTRACTOR SHALL INSTRUCT OWNERS REPRESENTATIVE ON APPROPRIATE WATERING PROCEDURES DURING INITIAL ESTABLISHMENT.

IF CERTAIN OF THE LAWN AREAS DO NOT SHOW A PROMPT "CATCH", THESE SHALL BE RESEED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF TEN (10) DAYS, WHICH PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

PLACE WARNING SIGNS IN SEEDED AREAS AND ERECT NECESSARY BARRICADES TO PREVENT DAMAGE BY PERSONS OR MACHINES AND MAINTAIN THESE FOR AT LEAST THIRTY (30) DAYS.

REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

THE LANDSCAPE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.

PLANT MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.

PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SOWNED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUND COVERS).

ALL TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT.

ALL TREES WITHIN THE FOUR HUNDRED (400) FOOT SIGHT LINE AT THE ENTRY DRIVE SHALL BE INSTALLED AND MAINTAINED WITH A MAXIMUM SIX (6) FOOT BRANCHING HEIGHT. SHRUBS WITHIN THE FOUR HUNDRED (400) FOOT SIGHT LINE AT THE ENTRY DRIVE SHALL BE INSTALLED AND MAINTAINED TO A MAXIMUM HEIGHT OF EIGHTEEN (18) INCHES.

LIGHT POLES LOCATED IN PLANTING ISLANDS SHALL BE CENTERED BETWEEN EDGES OF PAVEMENT ON OPPOSITE SIDES OF THE POLE. LIGHT POLES IN PARKING AREAS SHALL BE CENTERED ON THE INTERSECTIONS OF PAINT STRIPES.

EROSION CONTROL AND SEDIMENTATION NOTES

AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.

CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.

ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

ALL AREAS IDENTIFIED AS CRITICAL AREA SEEDING SHALL BE STABILIZED DURING CONSTRUCTION BY SEEDING WITH ANNUAL RYE GRASS AT THE RATE OF FORTY (40) LBS./ACRE.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDEED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT.

CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

STRAW BALE CHECK DAMS SHALL BE PROVIDED AROUND ALL EXISTING DRAIN INLETS PRIOR TO CONSTRUCTION ACTIVITIES AND AROUND ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.

RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING ADJACENT TO A WATERWAY.

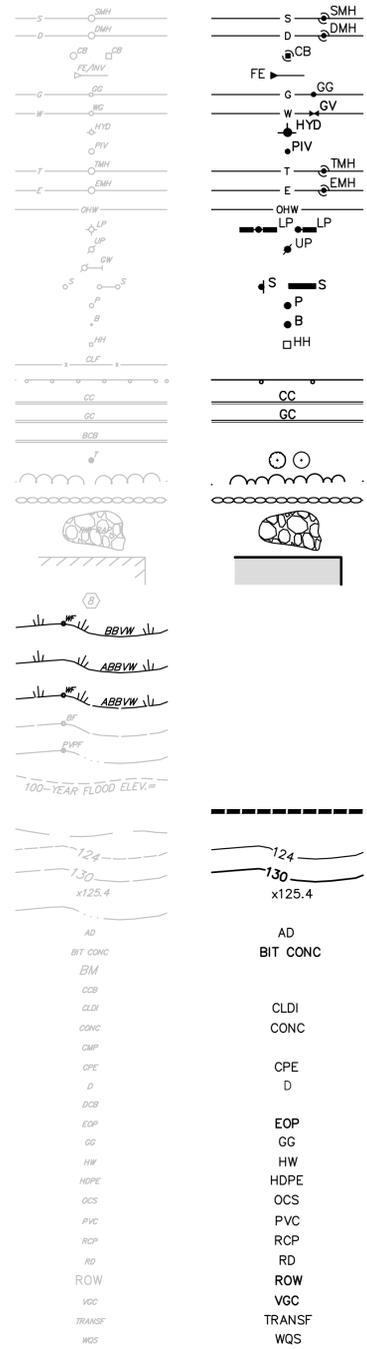
EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE WETLANDS.

ADDITIONAL STRAW BALES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.

LEGEND AND ABBREVIATIONS

EXISTING PROPOSED



SEWER LINE/MANHOLE
DRAIN LINE/MANHOLE
CATCH BASIN
FLARED END/INVERT
GAS LINE/GATE
WATER LINE/GATE
HYDRANT
POST INDICATOR VALVE
TELEPHONE LINE/MANHOLE
ELECTRIC LINE/MANHOLE
OVERHEAD WIRE
LIGHT POLE
UTILITY POLE
GUY WIRE
SIGN
POST
BOLLARD POST
HAND HOLE
CHAIN LINK FENCE
GUARDRAIL/GUIDERAIL
CONCRETE CURB
GRANITE CURB
BITUMINOUS CONCRETE BERM
TREE
TREE LINE
STONE WALL
RIPRAP

BUILDING
No. OF PARKING SPACES IN ROW
BOUNDARY OF BORDERING VEGETATED WETLAND
APPROXIMATE BOUNDARY OF BORDERING VEGETATED WETLAND
APPROXIMATE GPS BOUNDARY OF BORDERING VEGETATED WETLAND
BANK/BANK FLAG
POTENTIAL VERNAL POOL/FLAG
100-YEAR FLOOD ELEVATION

STRAW BALE EROSION CONTROL
100' BUFFER ZONE
MINOR CONTOUR
MAJOR CONTOUR
SPOT ELEVATION
EDGE OF WATER
AREA DRAIN
BITUMINOUS CONCRETE
BENCHMARK
CAPE COD BERM
CEMENT LINED DUCTILE IRON
CONCRETE
CORRUGATED METAL PIPE
CORRUGATED POLYETHYLENE
DOOR
DOUBLE CATCH BASIN
EDGE OF PAVEMENT
GAS GATE
HEAD WALL
HIGH DENSITY POLYETHYLENE
OUTLET CONTROL STRUCTURE
POLYVINYL CHLORIDE
REINFORCED CONCRETE PIPE
ROOF DRAIN
RIGHT-OF-WAY
VERTICAL GRANITE CURB
ELECTRIC TRANSFORMER
WATER QUALITY STRUCTURE

PREPARED FOR:

LCB SENIOR LIVING
3 EDGE WATER DRIVE
SUITE 100
NORWOOD, MASSACHUSETTS
02062



PREPARED BY:
BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
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	ISSUE DATE	DESCRIPTION	
	DES	DWN	CHK'D APP'D

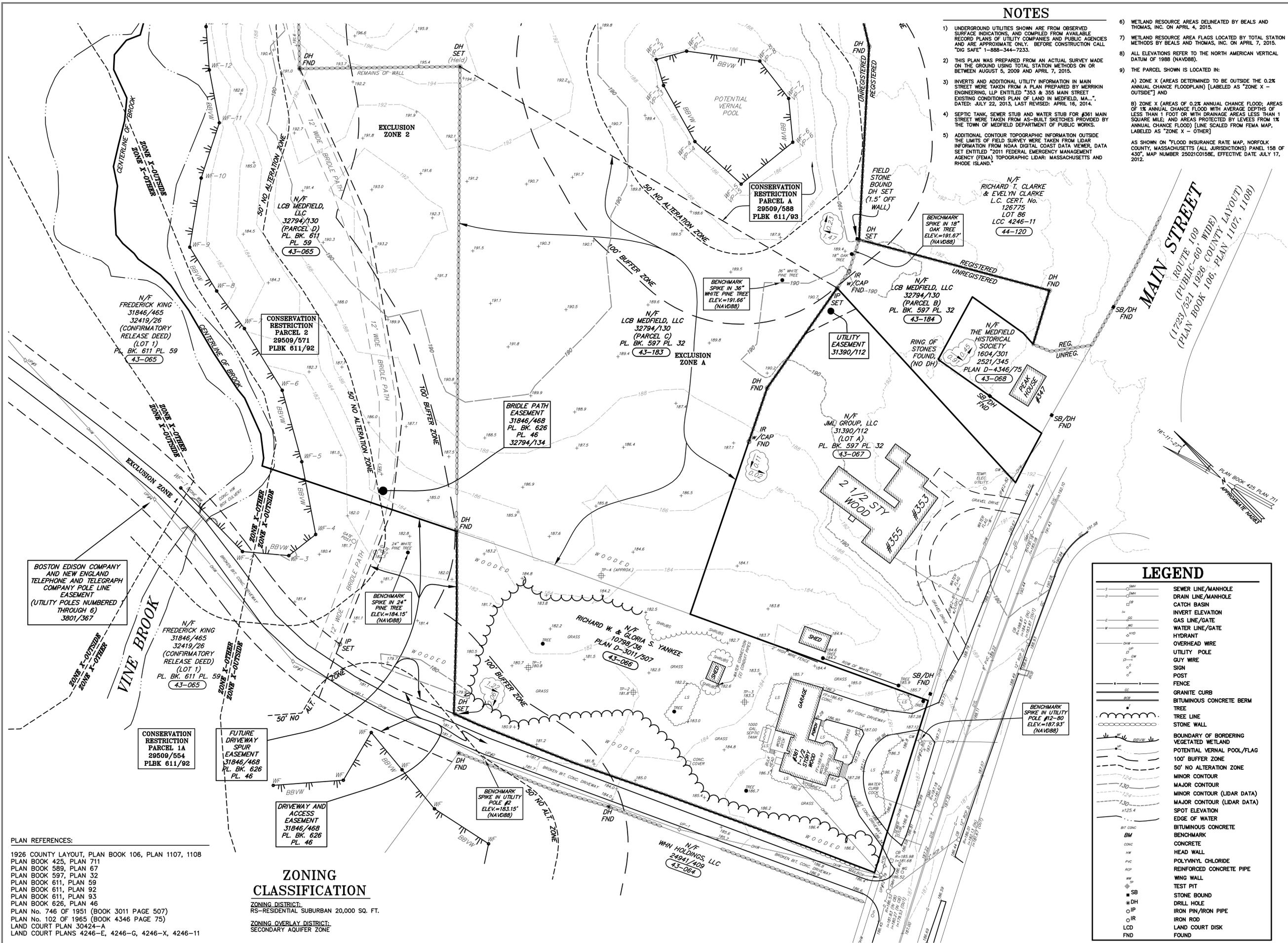
PROJECT:
ASSISTED LIVING RESIDENCE
MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

SCALE: NO SCALE DATE: AUGUST 17, 2015

NOTES, REFERENCES AND LEGEND

B+T JOB NO. 2177.04
B+T PLAN NO. 217704P027A--002
C1.1

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NOTES

- UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233.
- THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS ON OR BETWEEN AUGUST 6, 2009 AND APRIL 7, 2015.
- INVERTS AND ADDITIONAL UTILITY INFORMATION IN MAIN STREET WERE TAKEN FROM A PLAN PREPARED BY MERRIN ENGINEERING, LLP ENTITLED "353 & 355 MAIN STREET EXISTING CONDITIONS PLAN OF LAND IN MEDFIELD, MA.", DATED: JULY 22, 2013, LAST REVISED: APRIL 16, 2014.
- SEPTIC TANK, SEWER STUB AND WATER STUB FOR #361 MAIN STREET WERE TAKEN FROM AS-BUILT SKETCHES PROVIDED BY THE TOWN OF MEDFIELD DEPARTMENT OF PUBLIC WORKS.
- ADDITIONAL CONTOUR TOPOGRAPHIC INFORMATION OUTSIDE THE LIMITS OF FIELD SURVEY WERE TAKEN FROM LIDAR INFORMATION FROM NOAA DIGITAL COAST DATA VIEWER, DATA SET ENTITLED "2011 FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TOPOGRAPHIC LIDAR: MASSACHUSETTS AND RHODE ISLAND."
- WETLAND RESOURCE AREAS DELINEATED BY BEALS AND THOMAS, INC. ON APRIL 4, 2015.
- WETLAND RESOURCE AREA FLAGS LOCATED BY TOTAL STATION METHODS BY BEALS AND THOMAS, INC. ON APRIL 7, 2015.
- ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE PARCEL SHOWN IS LOCATED IN:
 - A) ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) [LABELED AS "ZONE X - OUTSIDE"] AND
 - B) ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) [LINE SCALED FROM FEMA MAP, LABELED AS "ZONE X - OTHER"]

AS SHOWN ON "FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 158 OF 430", MAP NUMBER 25021C0158E, EFFECTIVE DATE JULY 17, 2012.

PREPARED FOR:
LCB SENIOR LIVING
 3 EDGEWATER DRIVE
 SUITE 101
 NORWOOD, MA 02062

RECORD OWNERS:
LCB MEDFIELD, LLC
 32794/130 (PARCEL B)
 (PARCEL C)
 PL. BK. 597 PL. 32 (PARCEL D)
 PL. BK. 611 PL. 59

RICHARD W. & GLORIA S. YANKEE
 10798/36
 PLAN D-3011/507

STEPHEN J. & LYNN E. BROWNE
 L.C. CERT. No. 138420
 (LOT 17)
 LCC 4246-X

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1	08/17/2015	CHANGE SHEET SIZE
0	04/23/2015	INITIAL ISSUE
	ISSUE DATE	DESCRIPTION
JJ	MEB	MEB
FLD	CALC	DWN
		CHK'D

TOPOGRAPHIC PLAN
ASSISTED LIVING FACILITY
MEDFIELD, MA
 (NORFOLK COUNTY)

PREPARED BY:
BEALS + THOMAS
 Civil Engineers + Landscape Architects +
 Land Surveyors + Planners +
 Environmental Specialists

BEALS AND THOMAS, INC.
 Reservoir Corporate Center
 144 Turnpike Road
 Southborough, Massachusetts 01772-2104
 T 508.366.0560 | www.bealsandthomas.com

DATE: APRIL 23, 2015
 METERS: 0 5 10 25
 FEET: 0 15 30 60 90
 SCALE: 1"=30'
 B+T JOB NO. 2177.04
 B+T PLAN NO. 217704P031B-001
TP

LEGEND

- SEWER LINE/MANHOLE
- DRAIN LINE/MANHOLE
- CATCH BASIN
- INVERT ELEVATION
- GAS LINE/GATE
- WATER LINE/GATE
- HYDRANT
- OVERHEAD WIRE
- UTILITY POLE
- GUY WIRE
- SIGN
- POST
- FENCE
- GRANITE CURB
- BITUMINOUS CONCRETE BERM
- TREE
- TREE LINE
- STONE WALL
- BOUNDARY OF BORDERING VEGETATED WETLAND
- POTENTIAL VERNAL POOL/FLAG
- 100' BUFFER ZONE
- 50' NO ALTERATION ZONE
- MINOR CONTOUR
- MAJOR CONTOUR
- MINOR CONTOUR (LIDAR DATA)
- MAJOR CONTOUR (LIDAR DATA)
- SPOT ELEVATION
- EDGE OF WATER
- BITUMINOUS CONCRETE
- BENCHMARK
- CONCRETE
- HEAD WALL
- POLYVINYL CHLORIDE
- REINFORCED CONCRETE PIPE
- WING WALL
- TEST PIT
- STONE BOUND
- DRILL HOLE
- IRON PIN/IRON PIPE
- IRON ROD
- LAND COURT DISK
- FOUND

PLAN REFERENCES:
 1926 COUNTY LAYOUT, PLAN BOOK 106, PLAN 1107, 1108
 PLAN BOOK 425, PLAN 711
 PLAN BOOK 589, PLAN 67
 PLAN BOOK 597, PLAN 32
 PLAN BOOK 611, PLAN 59
 PLAN BOOK 611, PLAN 92
 PLAN BOOK 611, PLAN 93
 PLAN BOOK 626, PLAN 46
 PLAN No. 746 OF 1951 (BOOK 3011 PAGE 507)
 PLAN No. 102 OF 1965 (BOOK 4346 PAGE 75)
 LAND COURT PLAN 30424-A
 LAND COURT PLANS 4246-E, 4246-G, 4246-X, 4246-11

ZONING CLASSIFICATION
 ZONING DISTRICT:
 RS-RESIDENTIAL SUBURBAN 20,000 SQ. FT.
 ZONING OVERLAY DISTRICT:
 SECONDARY AQUIFER ZONE

BOSTON EDISON COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY POLE LINE EASEMENT (UTILITY POLES NUMBERED THROUGH 6) 3801/367

N/F FREDERICK KING 31846/465 32419/26 (CONFIRMATORY RELEASE DEED) (LOT 1) PL. BK. 611 PL. 59 43-065

CONSERVATION RESTRICTION PARCEL 1A 29509/554 PLBK 611/92

FUTURE DRIVEWAY SPUR EASEMENT 31846/468 PL. 46

DRIVEWAY AND ACCESS EASEMENT 31846/468 PL. BK. 626 PL. 46

BENCHMARK SPIKE IN 24" PINE TREE ELEV.=184.15' (NAVD88)

BENCHMARK SPIKE IN UTILITY POLE #2 ELEV.=183.15' (NAVD88)

BRIDLE PATH EASEMENT 31846/468 PL. BK. 626 PL. 46 32794/134

N/F LCB MEDFIELD, LLC 32794/130 (PARCEL C) PL. BK. 597 PL. 32 43-183

CONSERVATION RESTRICTION PARCEL A 29509/588 PLBK 611/93

N/F JML GROUP, LLC 31390/112 (LOT A) PL. BK. 597 PL. 32 43-067

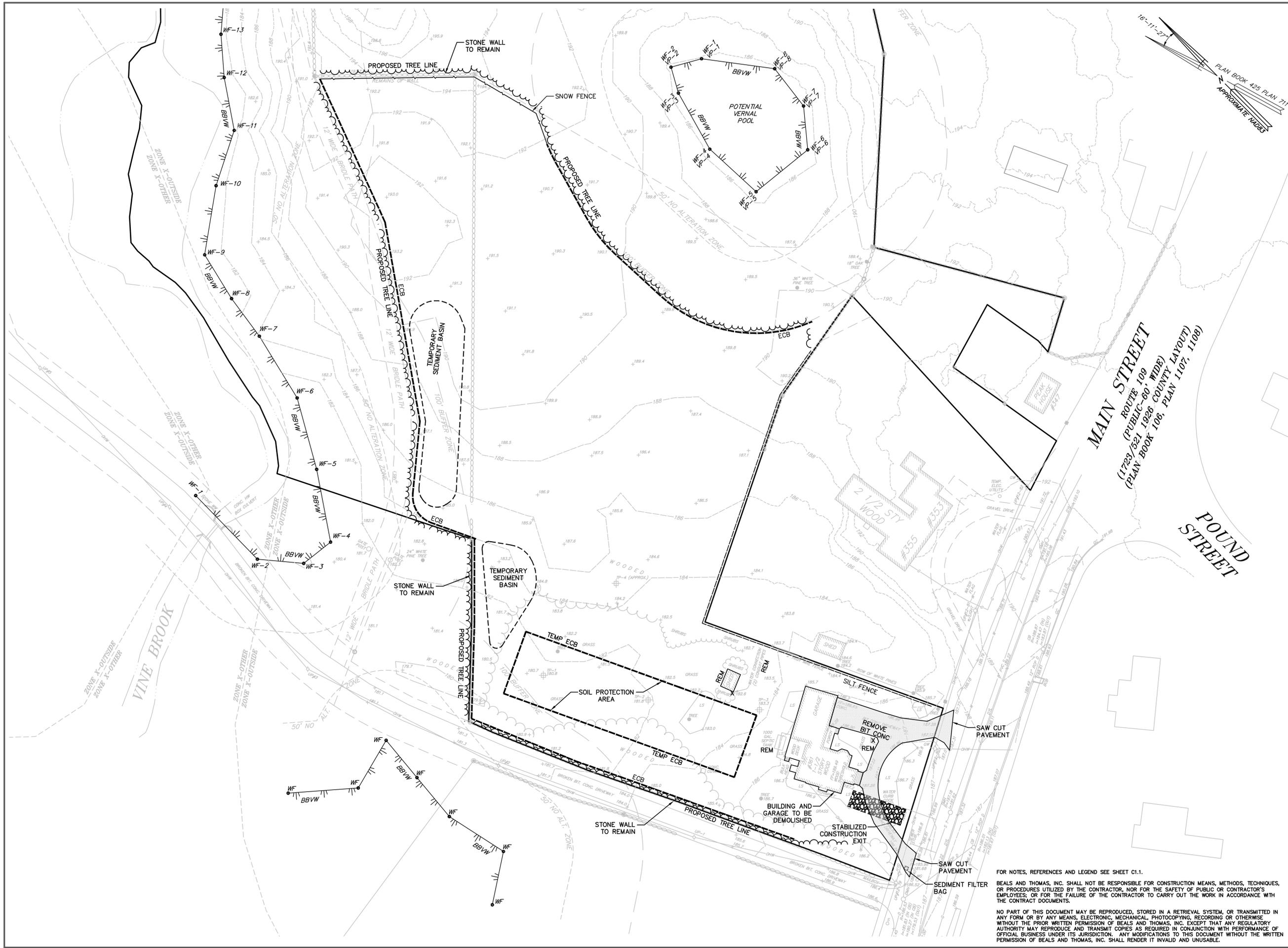
N/F LCB MEDFIELD, LLC 32794/130 (PARCEL B) PL. BK. 597 PL. 32 43-184

N/F THE MEDFIELD HISTORICAL SOCIETY 1604/301 2521/345 PLAN D-4346/75 43-068

N/F RICHARD T. CLARKE & EVELYN CLARKE L.C. CERT. No. 126775 LOT 86 LCC 4246-11 44-120

N/F RICHARD W. & GLORIA S. YANKEE 10798/36 PLAN D-3011/507 43-066

N/F WHH HOLDINGS LLC 24941/409 43-064



PREPARED FOR:

LCB SENIOR LIVING

3 EDGE WATER DRIVE
SUITE 100
NORWOOD, MASSACHUSETTS
02062

PLAN BOOK 425 PLAN 711
APPROXIMATE NDBE

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	ISSUE DATE DESCRIPTION		
DES	DWN	CHK'D	APP'D

PROJECT:
ASSISTED LIVING RESIDENCE
MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

SCALE: 1" = 30' DATE: AUGUST 17, 2015

SITE PREPARATION PLAN

B+T JOB NO. 2177.04
B+T PLAN NO. 217704P028A-001
C2.1

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.
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PREPARED FOR:

LCB SENIOR LIVING

3 EDGE WATER DRIVE
SUITE 100
NORWOOD, MASSACHUSETTS
02062



Beals and Thomas
8/17/2015

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ISSUE DATE	DESCRIPTION		
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PROJECT:
ASSISTED LIVING RESIDENCE
MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

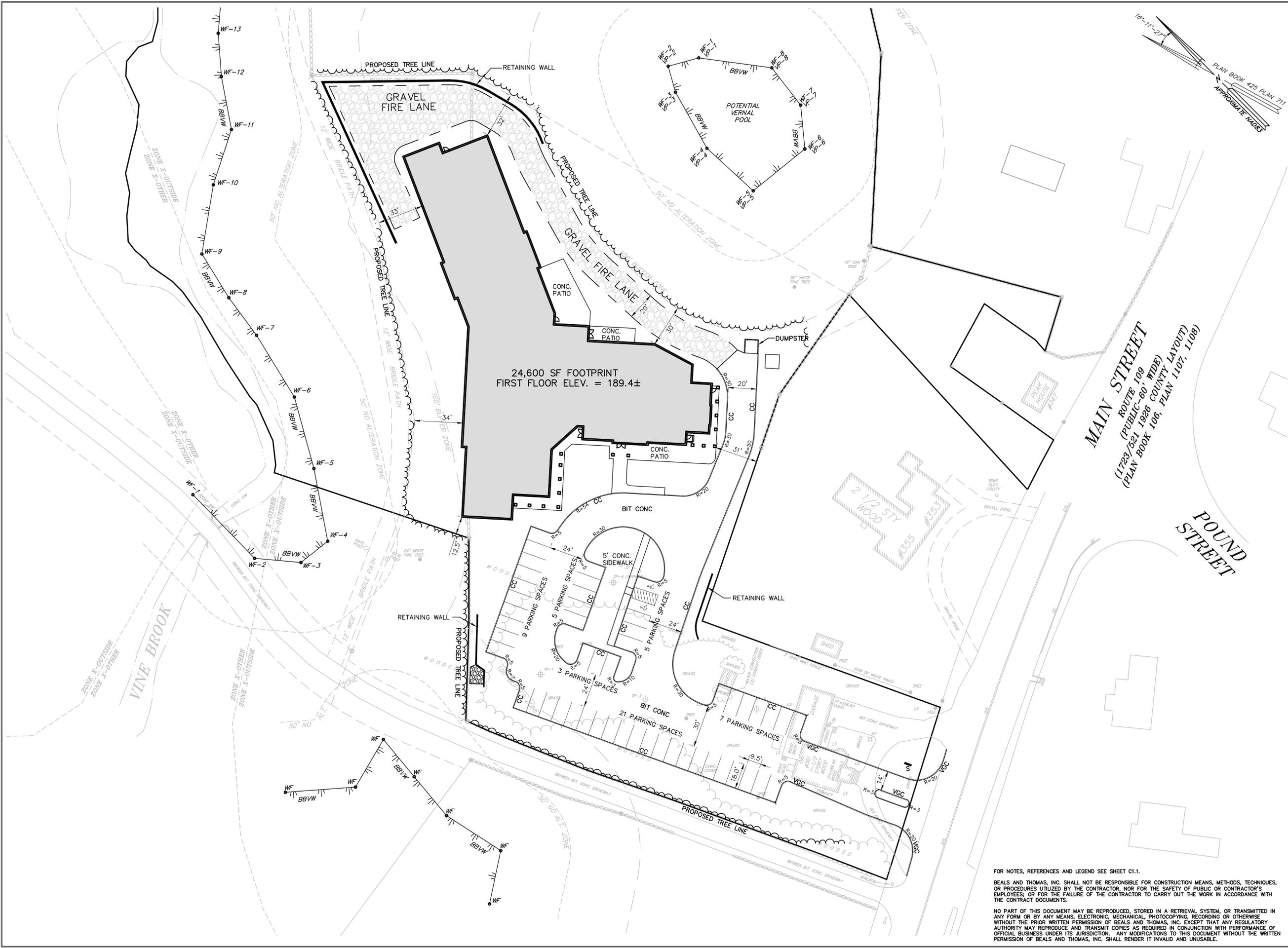
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LAYOUT AND MATERIALS PLAN

B+T JOB NO. 2177.04

B+T PLAN NO. 217704P028A-002

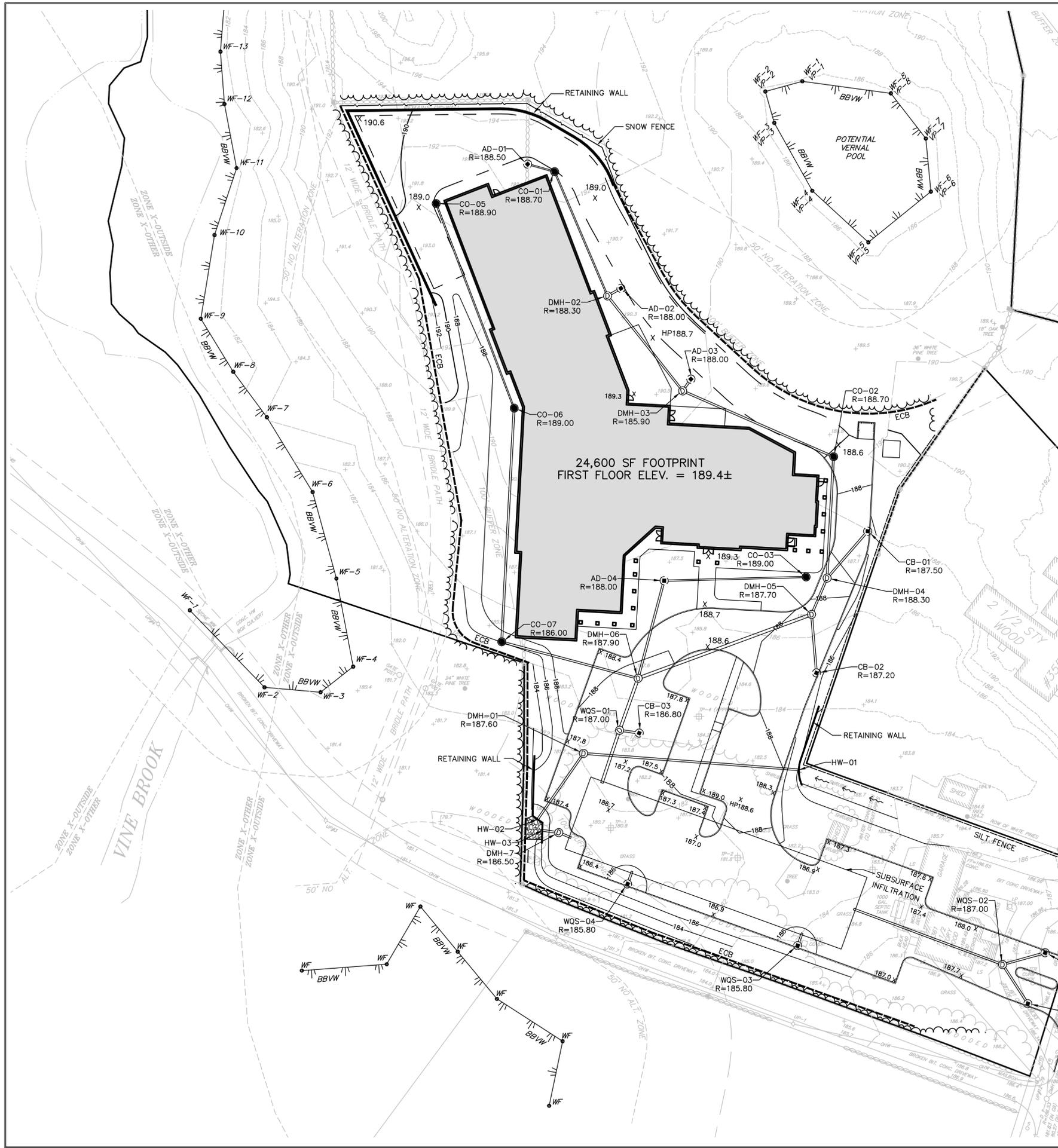
C3.1



FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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PROPOSED DRAIN RIM AND INVERT SCHEDULE			
STRUCTURE NAME:	RIM	PIPES IN:	PIPES OUT
AD-01	RIM = 188.50		8" HDPE, INV OUT=185.30, TO CO-01
AD-02	RIM = 188.00		12" HDPE, INV OUT=184.90, TO DMH-02
AD-03	RIM = 188.00		12" HDPE, INV OUT=184.50, TO DMH-03
AD-04	RIM = 188.00	8" HDPE, INV IN=185.00, FROM CO-03	12" HDPE, INV OUT=185.00, TO DMH-06
CB-01	RIM = 187.50		12" HDPE, INV OUT=184.00, TO DMH-04
CB-02	RIM = 187.20		12" HDPE, INV OUT=183.70, TO DMH-05
CB-03	RIM = 186.80		12" HDPE, INV OUT=183.00, TO WQS-01
CB-04	RIM = 186.50		12" HDPE, INV OUT=183.20, TO WQS-02
CB-05	RIM = 186.50		12" HDPE, INV OUT=183.20, TO WQS-02
CO-01	RIM = 188.70	8" HDPE, INV IN=185.10, FROM AD-01	8" HDPE, INV OUT=185.10, TO DMH-02
CO-02	RIM = 188.70	12" HDPE, INV IN=183.80, FROM DMH-03	12" HDPE, INV OUT=183.80, TO DMH-04
CO-03	RIM = 189.00		8" HDPE, INV OUT=186.00, TO AD-04
CO-05	RIM = 188.90		8" HDPE, INV OUT=185.50, TO CO-06
CO-06	RIM = 189.00	8" HDPE, INV IN=184.80, FROM CO-05	12" HDPE, INV OUT=184.80, TO CO-07
CO-07	RIM = 186.00	12" HDPE, INV IN=183.90, FROM CO-06	12" HDPE, INV OUT=183.90, TO DMH-06
DMH-01	RIM = 187.60	12" HDPE, INV IN=180.90, FROM HW-01	12" HDPE, INV OUT=180.90, TO HW-02
DMH-02	RIM = 188.30	8" HDPE, INV IN=184.70, FROM CO-01 12" HDPE, INV IN=184.70, FROM AD-02	12" HDPE, INV OUT=184.70, TO DMH-03
DMH-03	RIM = 185.90	12" HDPE, INV IN=184.30, FROM DMH-02 12" HDPE, INV IN=184.30, FROM AD-03	12" HDPE, INV OUT=184.30, TO CO-02
DMH-04	RIM = 188.30	12" HDPE, INV IN=183.40, FROM CO-02 12" HDPE, INV IN=183.50, FROM CB-01	12" HDPE, INV OUT=183.40, TO DMH-05
DMH-05	RIM = 187.70	12" HDPE, INV IN=183.25, FROM DMH-04	18" HDPE, INV OUT=183.25, TO DMH-06
DMH-06	RIM = 187.90	18" HDPE, INV IN=182.70, FROM DMH-05 12" HDPE, INV IN=183.40, FROM CO-07 12" HDPE, INV IN=184.30, FROM AD-04	18" HDPE, INV OUT=182.70, TO WQS-01
DMH-7	RIM = 186.50	12" HDPE, INV IN=182.00, FROM	12" HDPE, INV OUT=182.00, TO HW-03
HW-01	RIM = 184.17		12" HDPE, INV OUT=182.50, TO DMH-01
HW-02	RIM = 182.17	12" HDPE, INV IN=180.50, FROM DMH-01	
HW-03	RIM = 183.35	12" HDPE, INV IN=181.80, FROM DMH-7	
WQS-01	RIM = 187.00	18" HDPE, INV IN=182.50, FROM DMH-06 12" HDPE, INV IN=182.50, FROM CB-03	18" HDPE, INV OUT=182.30, TO INFIL
WQS-02	RIM = 187.00	12" HDPE, INV IN=183.00, FROM CB-05 12" HDPE, INV IN=183.00, FROM CB-04	12" HDPE, INV OUT=183.00, TO INFIL
WQS-03	RIM = 185.80		12" HDPE, INV OUT=182.80, TO INFIL
WQS-04	RIM = 185.80		12" HDPE, INV OUT=182.80, TO INFIL

PREPARED FOR:

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3 EDGE WATER DRIVE
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PROJECT:

ASSISTED LIVING RESIDENCE

MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

SCALE: 1" = 30' DATE: AUGUST 17, 2015

METERS
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FEET

GRADING AND DRAINAGE PLAN

B+T JOB NO. 2177.04

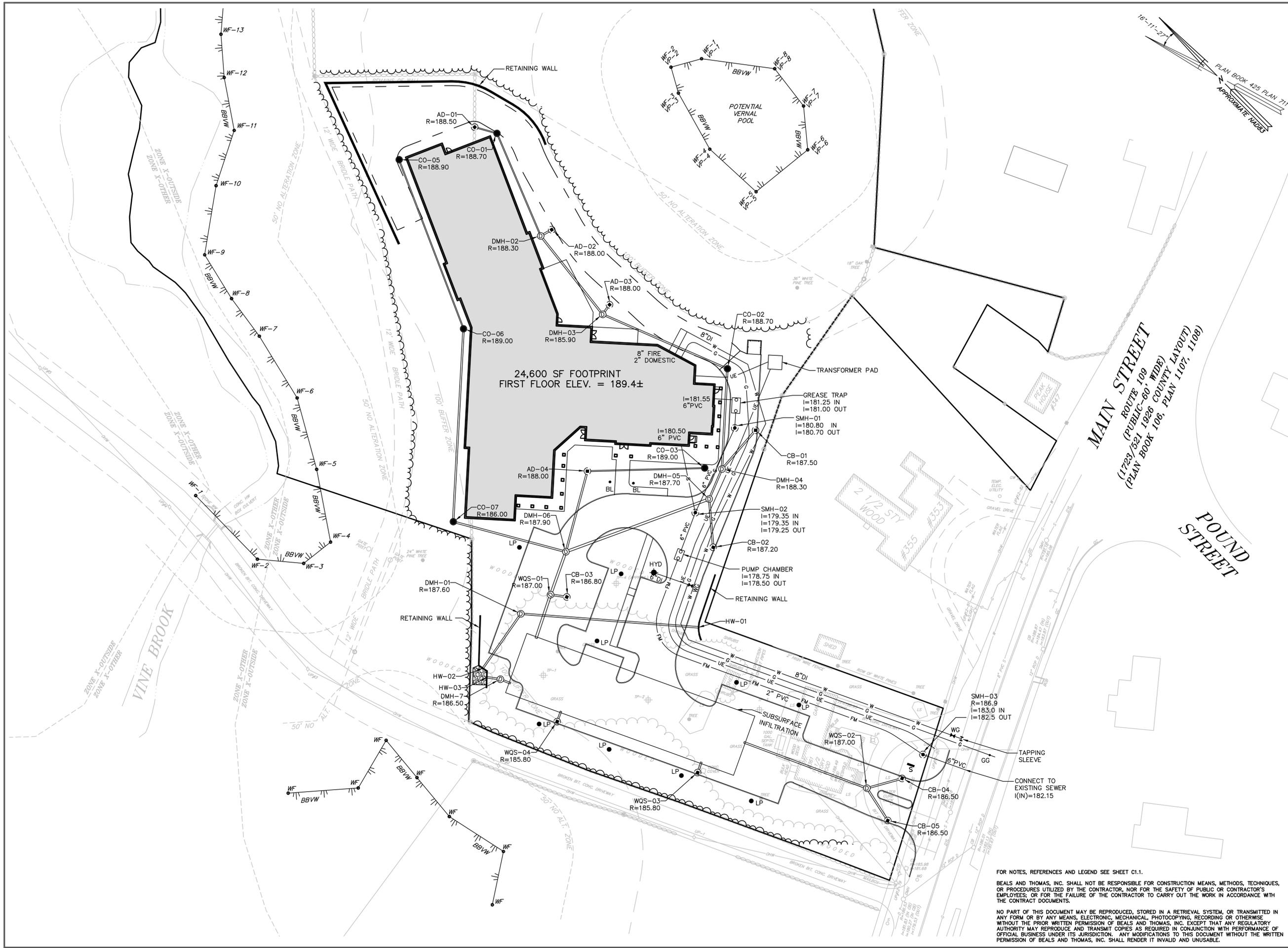
B+T PLAN NO.
217704P028A-003

C4.1

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

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PROJECT:
ASSISTED LIVING RESIDENCE
 MEDFIELD, MASSACHUSETTS
 (NORFOLK COUNTY)

SCALE: 1" = 30' DATE: AUGUST 17, 2015

METERS
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 FEET
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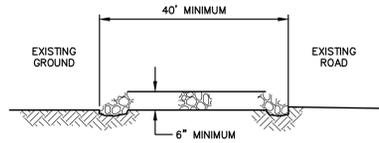
UTILITIES PLAN

B+T JOB NO. 2177.04
 B+T PLAN NO. 217704P028A-004
C5.1

FOR NOTES, REFERENCES AND LEGEND SEE SHEET C1.1.

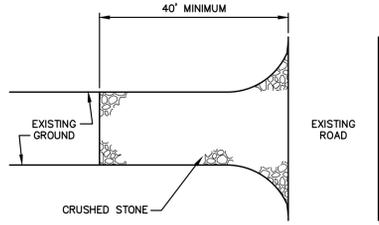
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PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND ROAD

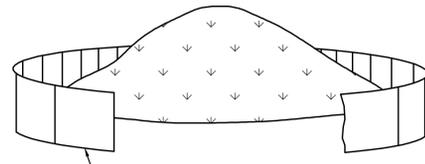
PROFILE VIEW



PLAN VIEW

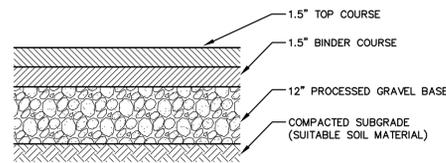
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING ROAD. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO EXISTING ROAD SHALL BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

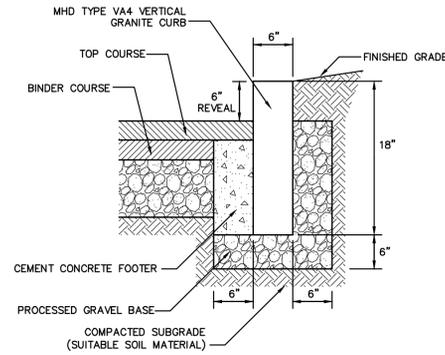


NOTE: CHOOSE DRY AND STABLE AREA FOR STOCKPILE.

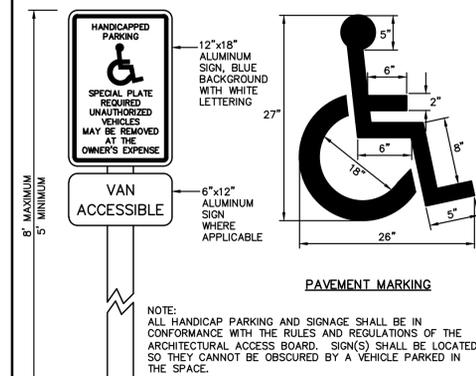
SOIL STOCKPILE
NOT TO SCALE



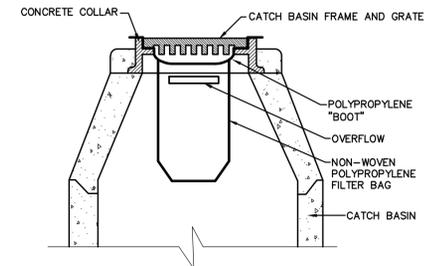
BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE

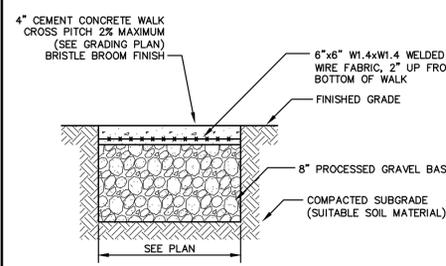


HANDICAP SIGN AND PAVEMENT MARKING
NOT TO SCALE

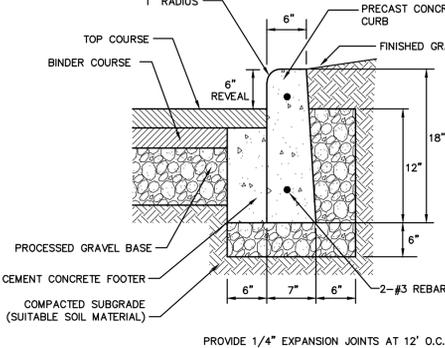


NOTES:
1. TO BE INSTALLED IN CATCH BASINS IN TRAFFIC AREAS UNTIL COMPLETION OF CONSTRUCTION.
2. BOOT ADAPTER MAY BE TRIMMED TO SIZE.

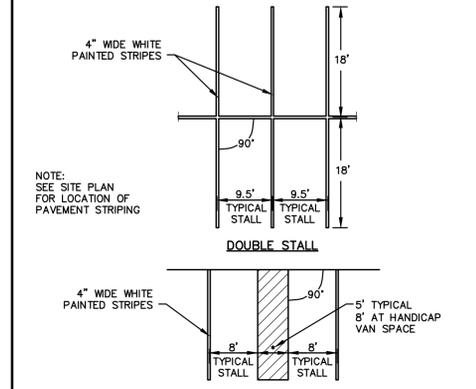
FILTER BAG
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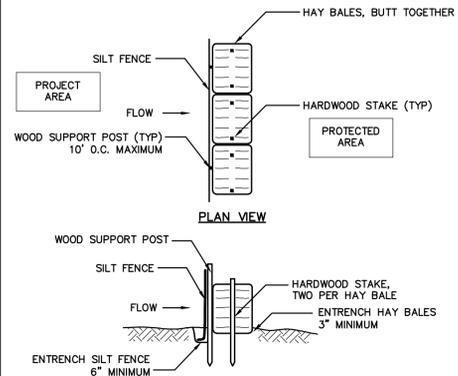
CEMENT CONCRETE WALK
NOT TO SCALE



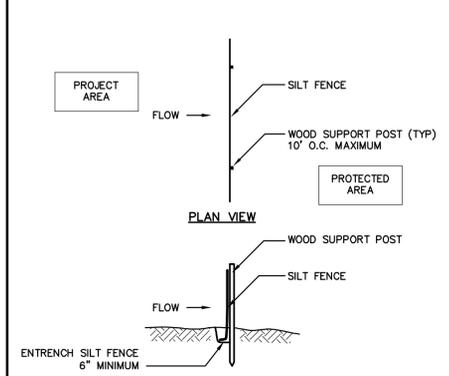
PRECAST CONCRETE CURB
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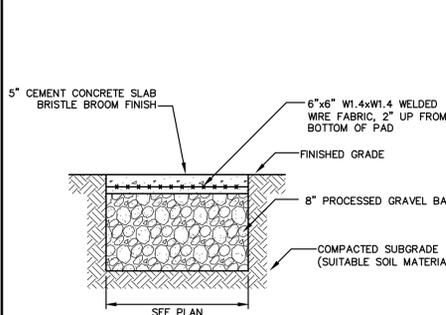
PAVEMENT MARKING
NOT TO SCALE



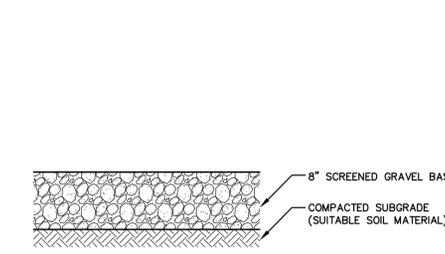
EROSION CONTROL BARRIER
NOT TO SCALE



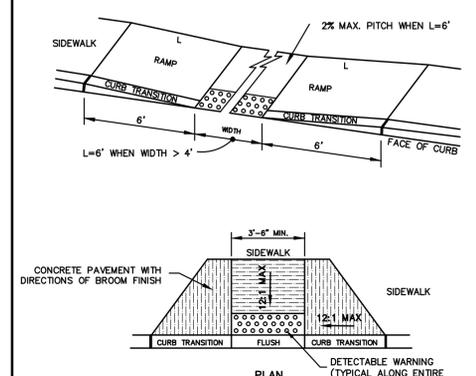
SILT FENCE
NOT TO SCALE



CEMENT CONCRETE DUMPSTER PAD
NOT TO SCALE



GRAVEL FIRE LANE
NOT TO SCALE



CURB RAMP
NOT TO SCALE

PREPARED FOR:

LCB SENIOR LIVING
3 EDGE WATER DRIVE
SUITE 100
NORWOOD, MASSACHUSETTS
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PROJECT:
ASSISTED LIVING RESIDENCE
MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

SCALE: NO SCALE DATE: AUGUST 17, 2015

SITE DETAILS

B+T JOB NO. 2177.04

B+T PLAN NO.
217704P027A-003

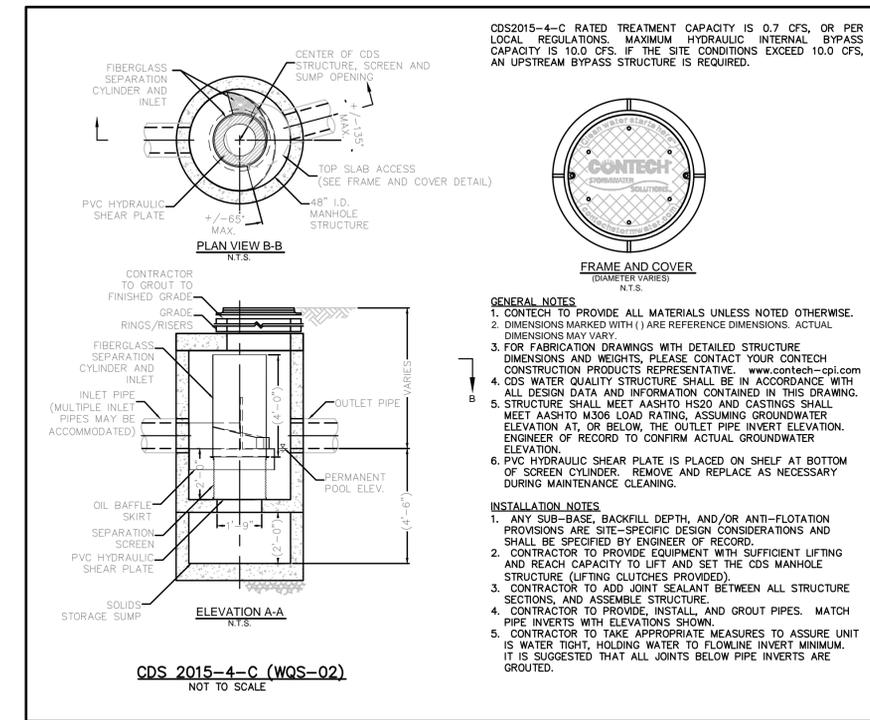
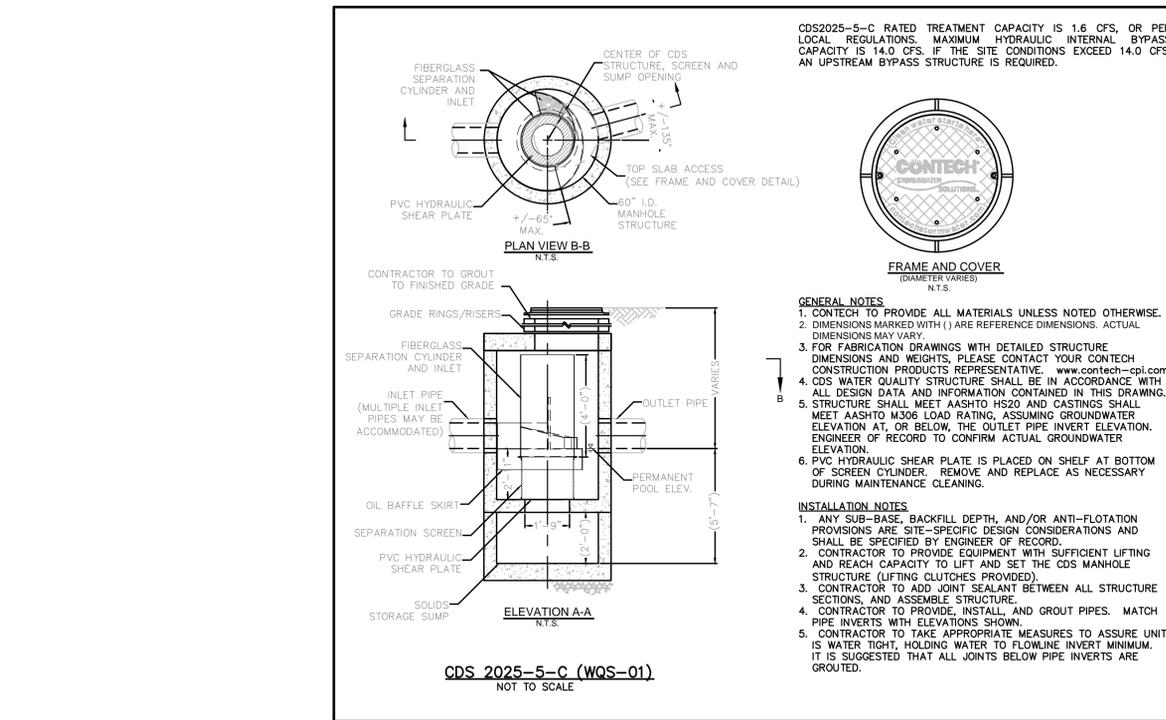
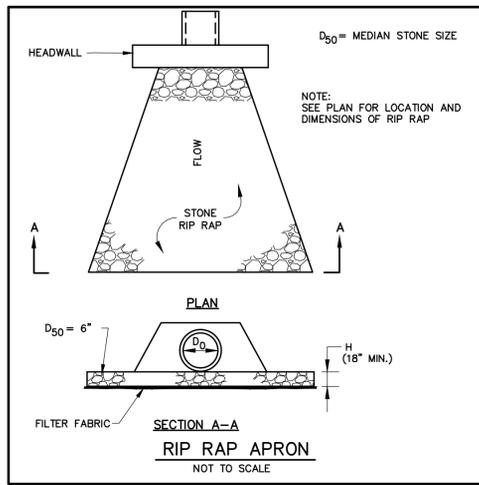
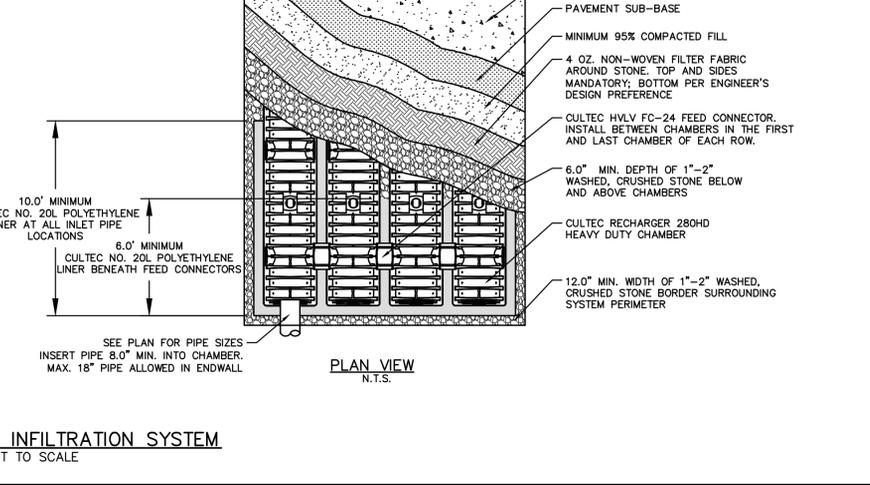
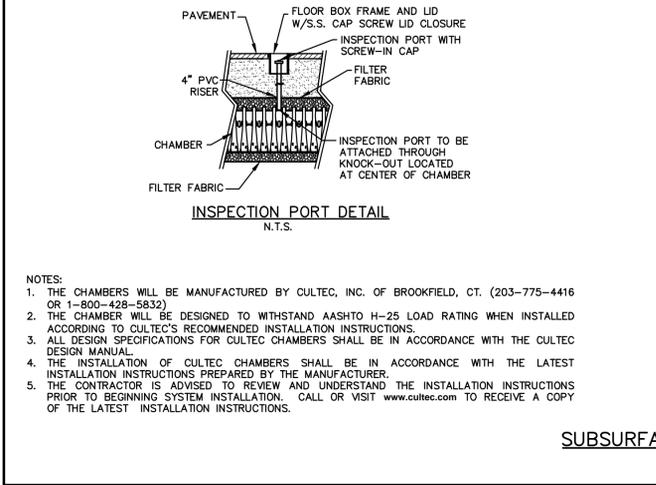
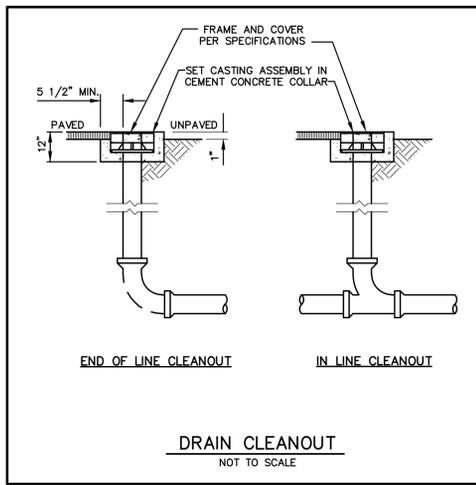
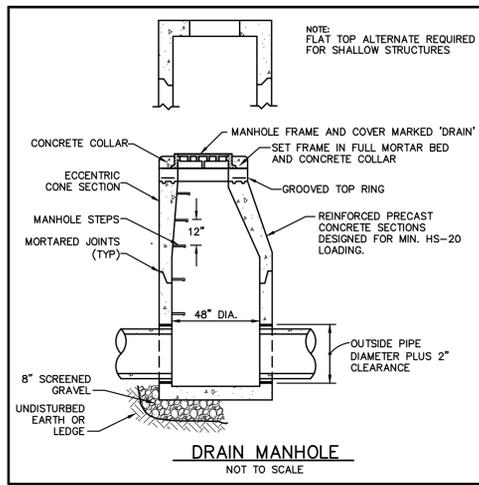
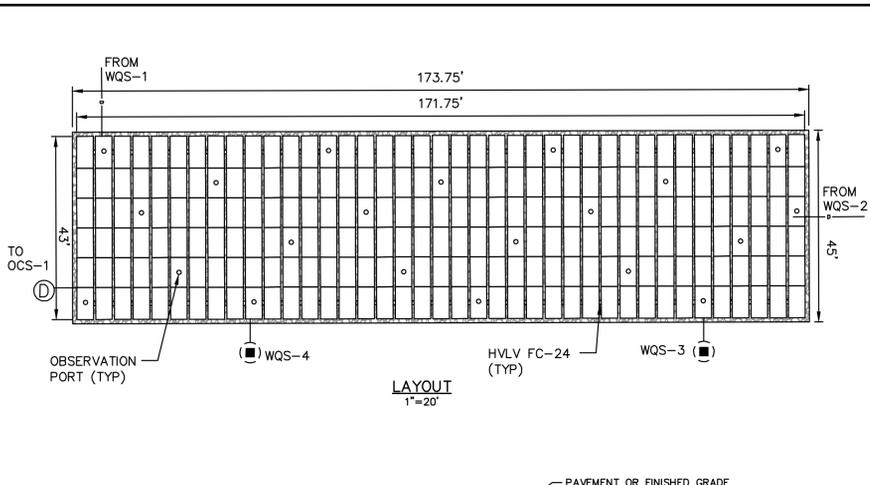
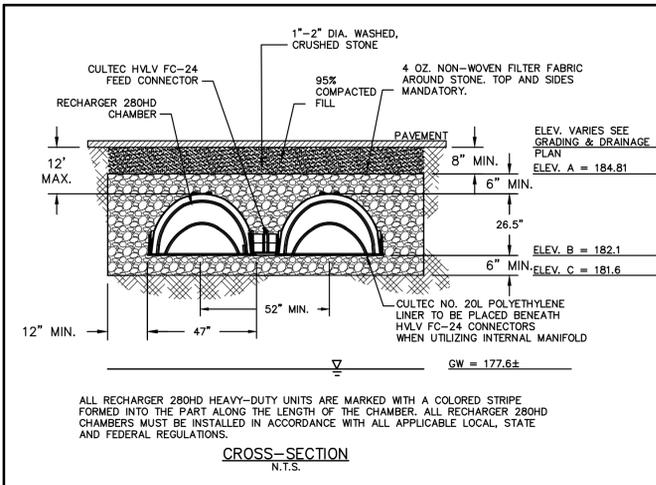
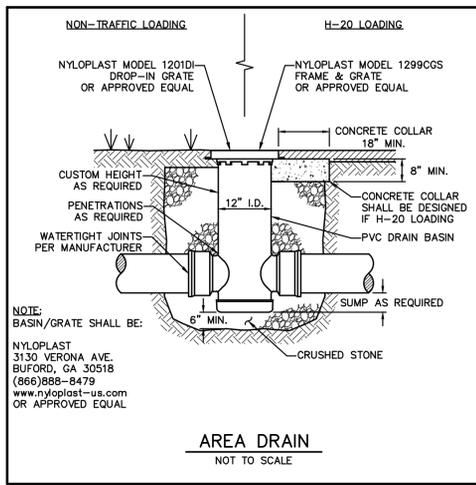
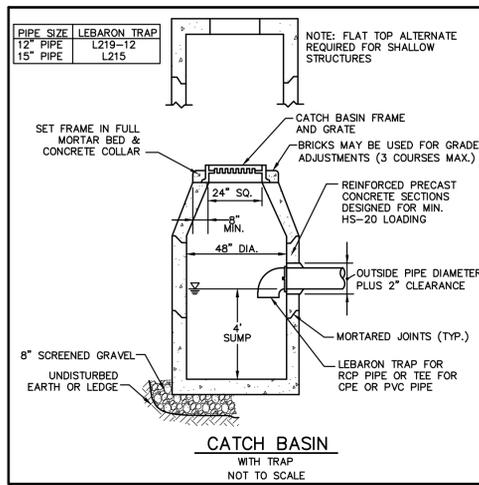
C7.1

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FOR NOTES, REFERENCES AND LEGEND SEE SHEET X.

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PREPARED FOR:

LCB SENIOR LIVING
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 SUITE 100
 NORWOOD, MASSACHUSETTS
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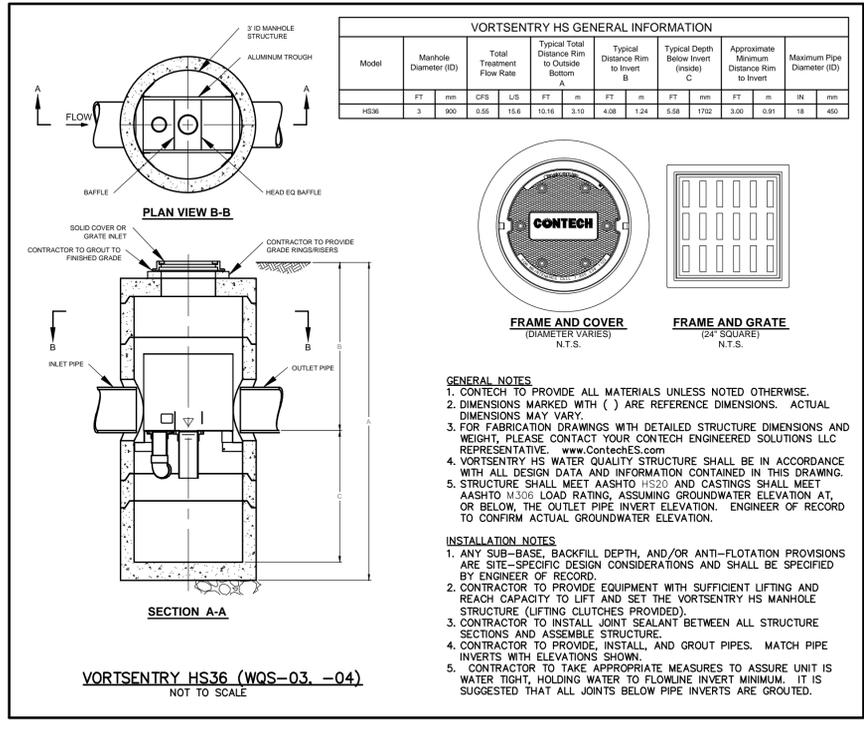
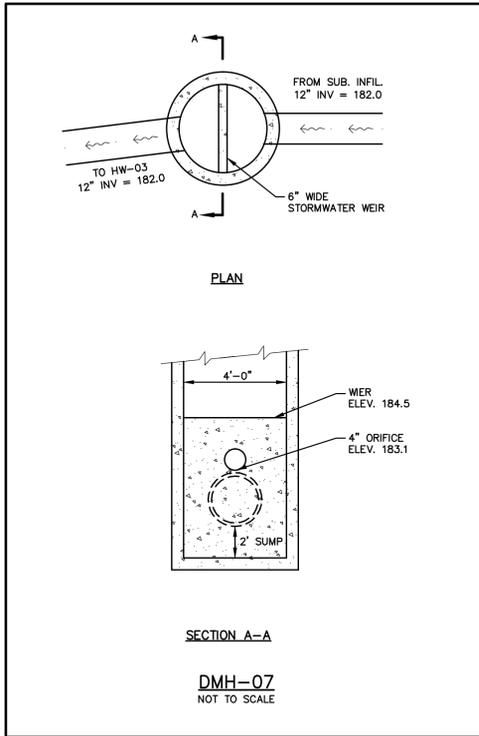
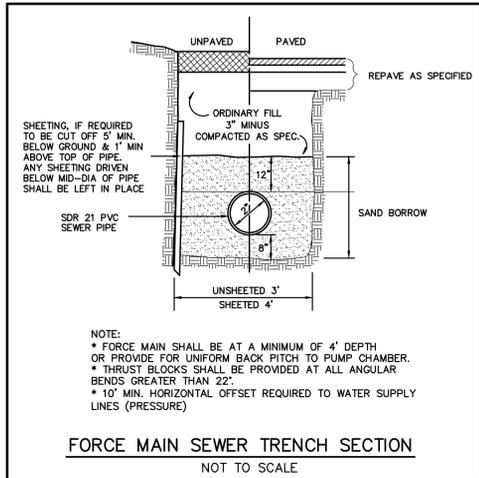
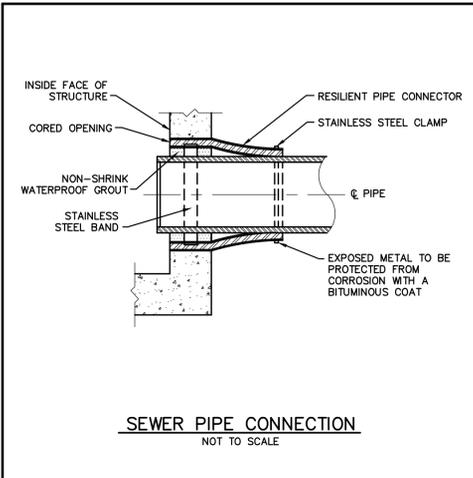
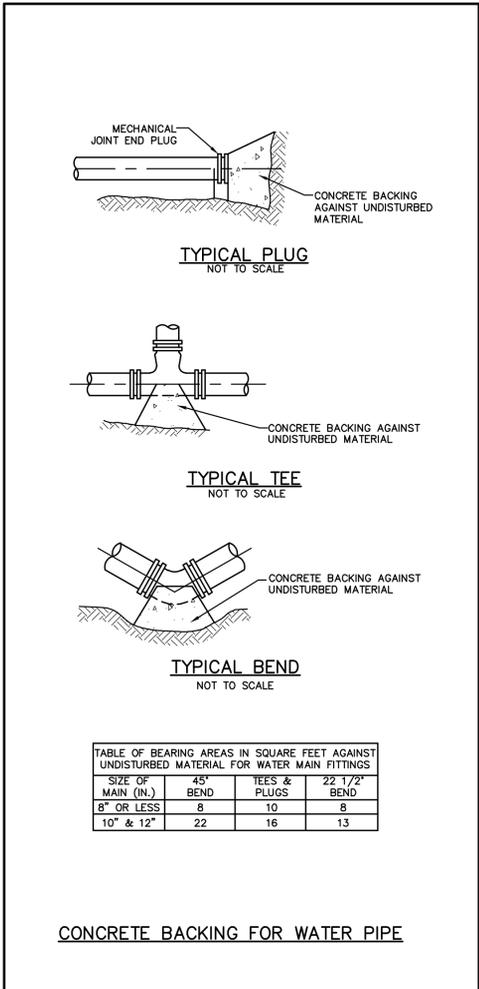
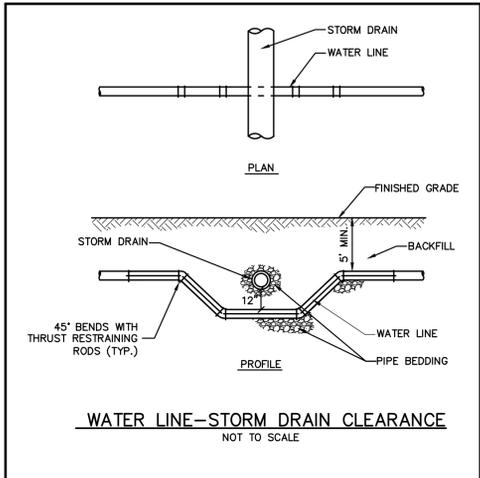
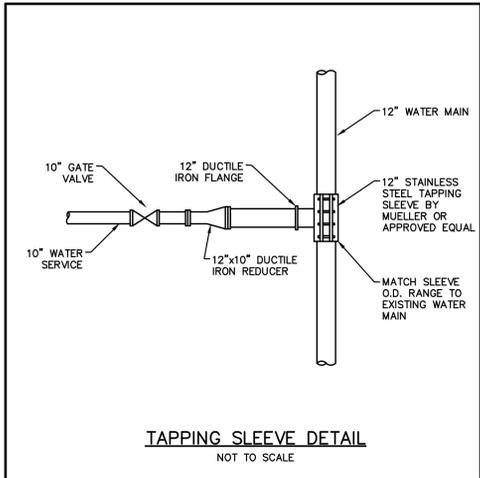
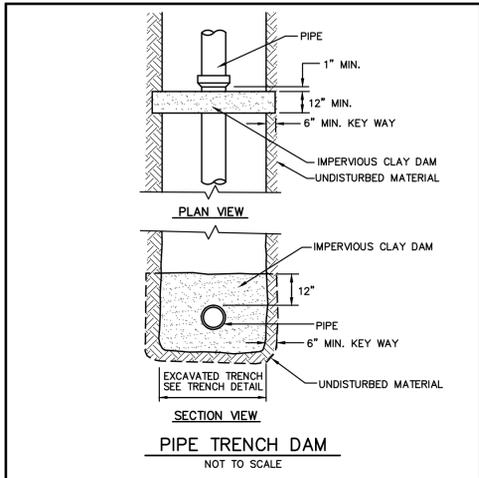
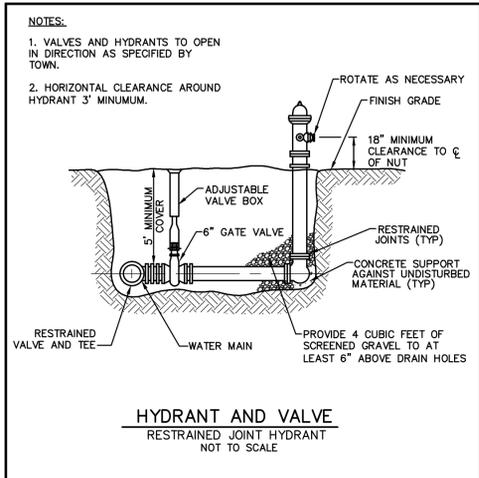
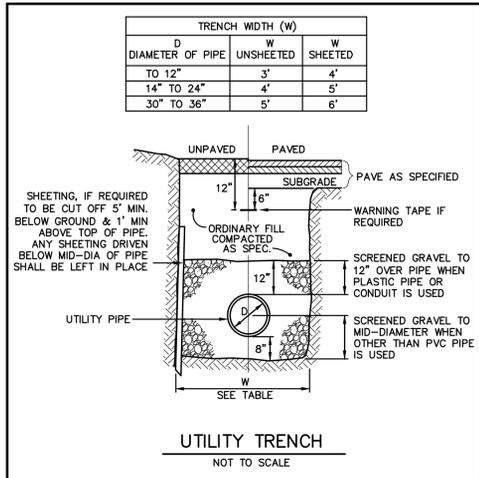
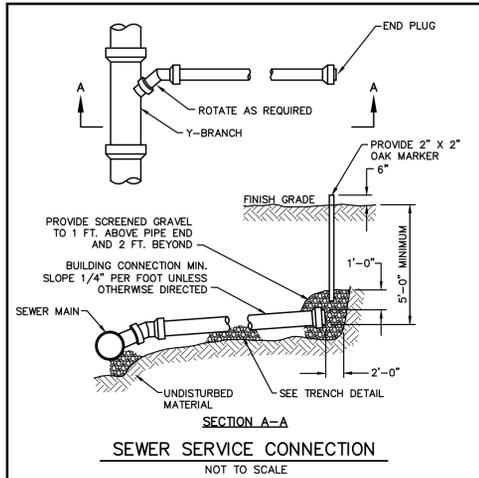
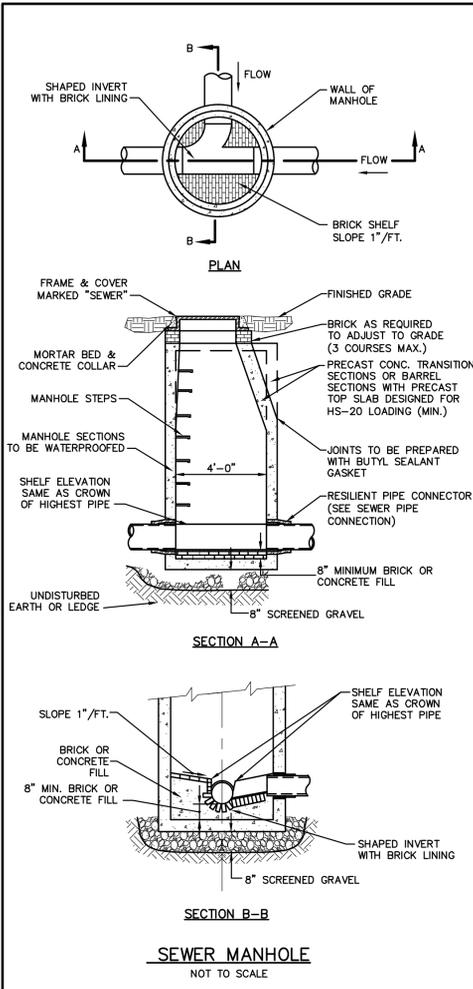
PROJECT:
ASSISTED LIVING RESIDENCE
 MEDFIELD, MASSACHUSETTS
 (NORFOLK COUNTY)

SCALE: NO SCALE DATE: AUGUST 17, 2015

SITE DETAILS

B+T JOB NO. 2177.04
 B+T PLAN NO. 217704P027A-004

C7.2



PREPARED FOR:

LCB SENIOR LIVING
3 EDGE WATER DRIVE
SUITE 100
NORWOOD, MASSACHUSETTS
02062

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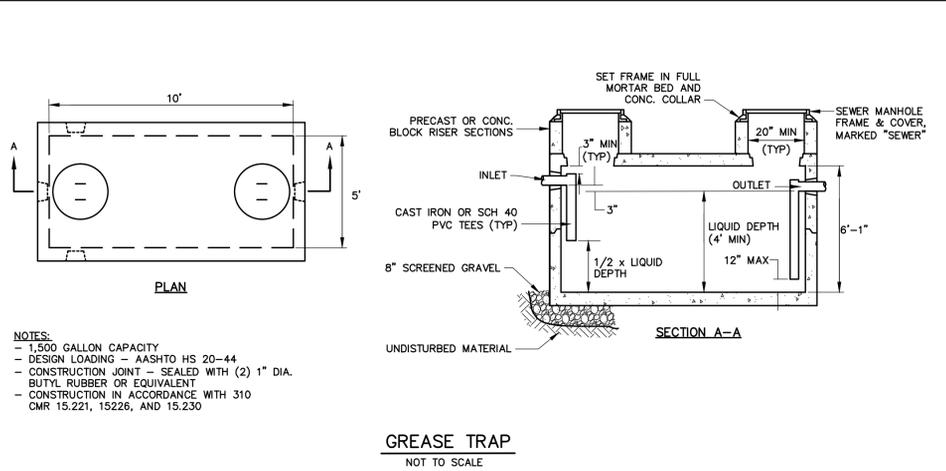
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ASSISTED LIVING RESIDENCE
MEDFIELD, MASSACHUSETTS
(NORFOLK COUNTY)

SCALE: NO SCALE DATE: AUGUST 17, 2015

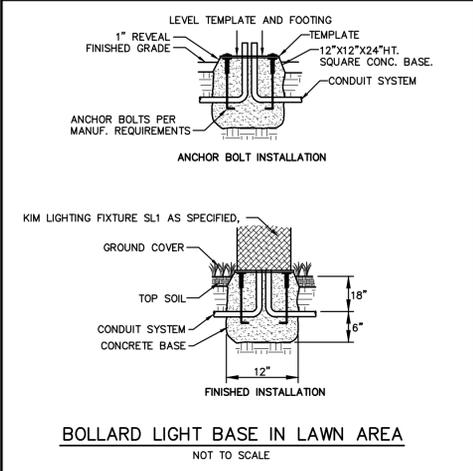
SITE DETAILS

B+T JOB NO. 2177.04
B+T PLAN NO. 217704P27A-005
C7.3

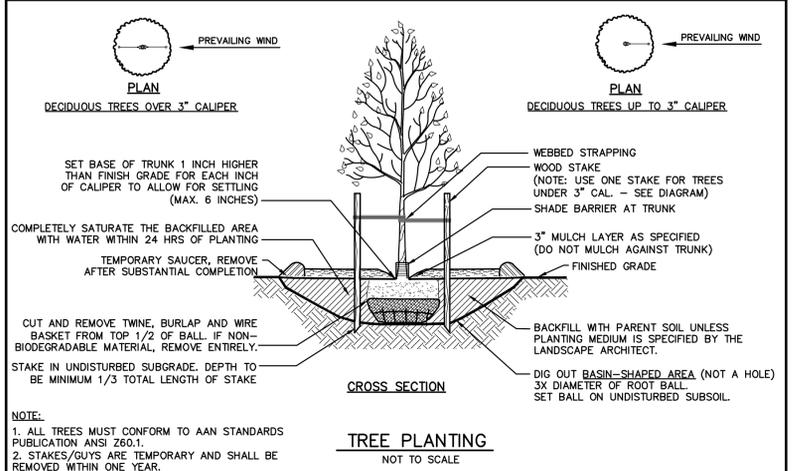
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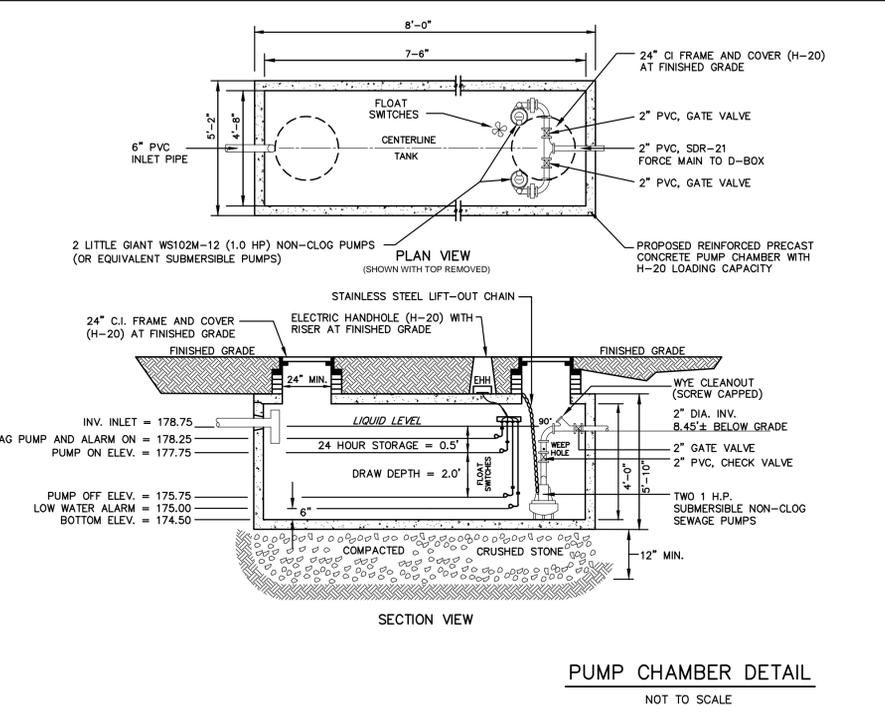
GREASE TRAP
NOT TO SCALE



BOLLARD LIGHT BASE IN LAWN AREA
NOT TO SCALE



TREE PLANTING
NOT TO SCALE



PUMP CHAMBER DETAIL
NOT TO SCALE

PUMP CHAMBER SPECIFICATIONS:
 PUMP MODEL: TWO LITTLE GIANT WS102M-12 (1.0 HP) NON-CLOG PUMPS
 PUMP CHAMBER: 1,000 GALLON TANK
 PUMP CHAMBER DIM. INSIDE: 7.50' L x 4.67' W x 4.00' H
 EMERGENCY STORAGE: SEWER PUMP SYSTEM TO BE CONNECTED TO THE EMERGENCY POWER SUPPLY.

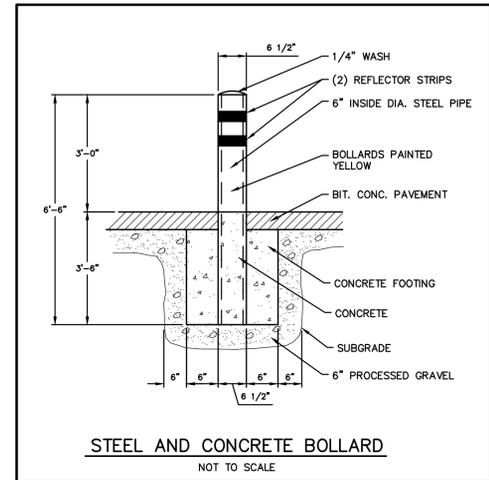
DOSING PUMP INFORMATION:
 DAILY FLOW: 12,750 GPD
 # DOSES PER DAY: 24.3
 VOLUME IN LINE: 44 GALLONS
 MINIMUM DOSE: 524 GALLONS
 DRAW DEPTH: 2.0' FEET
 DESIGN FLOW RATE: 57.0 GPM
 DESIGN VELOCITY: 5.75 FPS
 TDH: 27.58 FT.

7.25'	16.64'	0.51'	3.18'
STATIC	FRICTION	VELOCITY	MINOR LOSSES

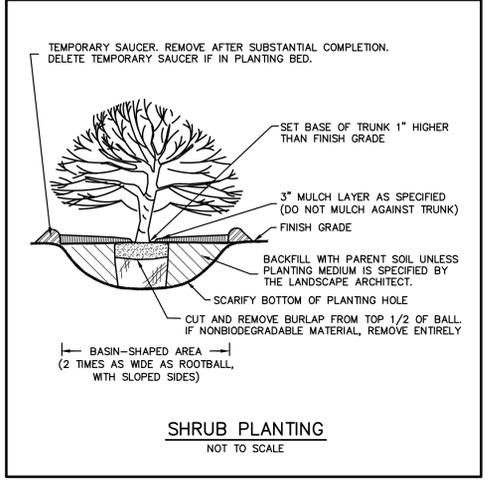
CHOOSE: TWO LITTLE GIANT WS102M-12 1 HP OR EQUIVALENT

NOTE: TANK INSTALLATION SHALL BE INSPECTED AND CERTIFIED WATER TIGHT BY THE MANUFACTURER.

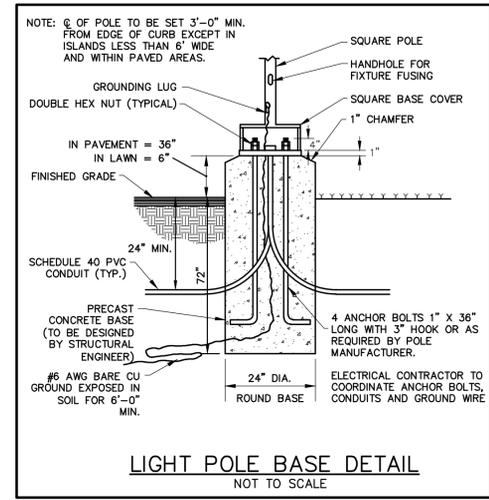
- NOTE:
- SEE GENERAL CONSTRUCTION AND MATERIAL REQUIREMENTS.
 - ALARM SYSTEM TO BE ON SEPARATE CIRCUIT FROM PUMPS.
 - PUMPS SHALL ALTERNATE.
 - ALARM PANEL TO HAVE AUDIBLE AND VISIBLE ALARM.



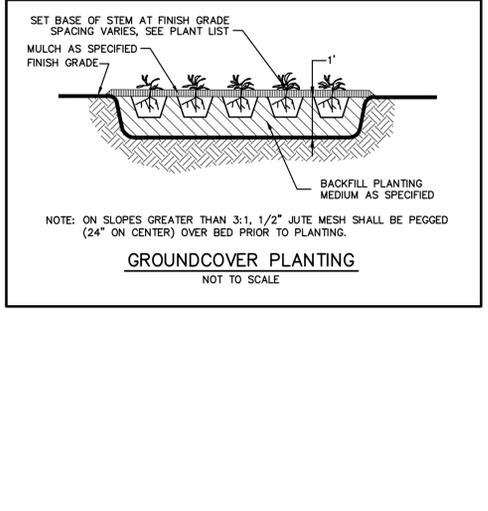
STEEL AND CONCRETE BOLLARD
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



LIGHT POLE BASE DETAIL
NOT TO SCALE



GROUNDCOVER PLANTING
NOT TO SCALE

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	ISSUE DATE	DESCRIPTION	
	DES	DWN	CHK'D APP'D

PROJECT:
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 (NORFOLK COUNTY)

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SITE DETAILS

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B+T PLAN NO.
217704P027A-006

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